



**NORTHLAKE PLANNING & ZONING COMMISSION
REGULAR MEETING AGENDA
JUNE 17, 2025, AT 5:30 PM
TOWN HALL - COUNCIL CHAMBER ROOM
1500 COMMONS CIRCLE, SUITE 300, NORTHLAKE, TEXAS 76226**

1. CALL TO ORDER

2. ANNOUNCEMENTS, PROCLAMATIONS, AND PRESENTATIONS

- A. Briefing - Approved Plats Report
- B. Briefing - Annual Board Training

3. PUBLIC INPUT

This item is available for citizens to address the Planning & Zoning Commission on any issues that are not the subject of a public hearing. The presiding officer may ask the citizen to hold his or her comment on an agenda item until that agenda item is reached. By law, no deliberation or action may be taken on the topic if the topic is not posted on the agenda. The presiding officer reserves the right to impose a time limit on this portion of the agenda.

4. ACTION ITEMS

- A. Consider selection of:
 - i. Chairperson
 - ii. Vice-Chairperson
- B. Consider approval of meeting minutes for April 15, 2025
- C. Consider approval of a Site Plan for StudioRes, a proposed 124-room hotel on a proposed 2-acre lot to be platted as Chadwick Farms, Lot 4B, Block 1, generally located on the south side of SH 114 approximately 200 feet west of Chadwick Parkway - Case # 25-SP00002
- D. Consider approval of a Site Plan for Children's Lighthouse Northlake, a proposed 10,880 square-foot daycare center on a 1.216-acre lot, Lot 2, Block A, Northlake Crossing West, generally located southwest of Robson Ranch Road and Gibbs Road (formerly Cleveland-Gibbs Road) - Case # 24-SP00008
- E. Consider a recommendation on a Specific Use Permit (SUP) to allow an addition to an accessory structure which would cause it to exceed 50% of the area of the home (primary structure) on Lot 15, Block 7, North Ridge Estates, a 1.07-acre lot located at 7610 Willow Ridge Drive - Case # 25-SUP00001
 - i. Public Hearing
 - ii. Consider Recommendation

5. **ADJOURN**

NOTE: The Planning & Zoning Commission reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Texas Government Code Section 551.071(Consultation with Attorney); Section 551.072 (Deliberations about Real Property);551.073 (Deliberations about Gifts and Donations); 551.074 (Personnel Matters); 551.076 (Deliberations about Security Devices); 551.087(Economic Development Negotiations).

CERTIFICATION

I, Zolaina R. Parker, Town Secretary, for the Town of Northlake, Texas, hereby certify that the above agenda was posted on the official bulletin board located at Town Hall, 1500 Commons Circle, Suite 300, Northlake, Texas 76226, on June 13, 2025, by 5:30 p.m., in accordance with Chapter 551 of the Texas Government Code.



Zolaina R. Parker
Zolaina R. Parker, Town Secretary

NOTICE: THE TOWN OF NORTHLAKE'S DESIGNATED PUBLIC MEETING FACILITIES ARE ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT(ADA). THE TOWN WILL PROVIDE ACCOMMODATIONS, SUCH AS SIGN LANGUAGE INTERPRETERS FOR THE HEARING IMPAIRED IF REQUESTED AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF THE SCHEDULED MEETING. PLEASE CALL THE TOWN SECRETARY'S OFFICE AT 940-242-5702 OR USE TELECOMMUNICATIONS DEVICES FOR THE DEAF (TDD), BY CALLING 1-800-RELAY-TX SO THAT REASONABLE ACCOMMODATIONS CAN BE ARRANGED.



DATE: June 17, 2025
REF. DOC.: Unified Development Code (UDC); Engineering Design Manual (EDM)
SUBJECT: Briefing - Approved Plats Report
GOALS/ OBJECTIVES: Plan Intentionally and Responsibly; 3.3 - Review and revise town plans as needed

BACKGROUND INFORMATION:

- Following plats approved since last report at April 15, 2025 P&Z meeting

Ambercrombie Addition - Final Plat

Site:

- 2.423-acre lot created from 25.671-acre tract
- West of Florance Road approximately 1,000 feet north of Blair Road

Zoning:

- No Zoning - Extraterritorial Jurisdiction (ETJ)

Summary:

- Property owner is subdividing to create one lot to transfer to a family member
- No Town services proposed
 - Water service to be provided by existing private well
 - Sewer to be provided by on-site sewage facility

Florance North Business Park - Preliminary Plat

Site:

- 5 Acres
- East of Florance Road approximately 3,600 feet north of FM 407

Zoning:

- No Zoning - Extraterritorial Jurisdiction (ETJ)

Summary:

- Proposed 2-lot commercial/light industrial development
- Town water service proposed which requires annexation

- Sewer service to be provided by private, on-site sewage facilities
- Development agreement with requirement for annexation under negotiation

P&Z ACTION:

Provide feedback as P&Z deems necessary

OWNERS DEDICATION:

2.423 ACRES
IN THE A. FELTUS SURVEY,
ABSTRACT NUMBER 1286,
IN THE TOWN OF NORTHLAKE,
DENTON COUNTY, TEXAS

WHEREAS JAMES H. ABERCROMBIE IS THE OWNER OF ALL THAT CERTAIN LOT, TRACT, OR PARCEL OF LAND SITUATED IN THE A. FELTUS SURVEY, ABSTRACT NUMBER 1286 IN DENTON COUNTY, TEXAS, AND BEING A PART OF A CALLED 25.808 ACRE TRACT OF LAND DESCRIBED IN DEED FROM W. WAYNE MORROW AND WIFE, EUNICE M. MORROW TO JAMES H. ABERCROMBIE AS RECORDED IN CLERK'S FILE NUMBER 94-R0078473 OF THE REAL PROPERTY RECORDS OF DENTON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A PK NAIL SET IN AN ASPHALT ROAD UNDER APPARENT PUBLIC USE POSTED AS FLORENCE ROAD IN THE EAST LINE OF SAID 25.808 ACRE TRACT FROM WHICH THE SOUTHEAST CORNER OF SAID 25.808 ACRE TRACT BEARS SOUTH 00 DEGREES 13 MINUTES 14 SECONDS EAST A DISTANCE OF 529.39 FEET.

THENCE SEVERING SAID 25.808 ACRE TRACT THE FOLLOWING TWO (2) COURSES AND DISTANCES:

- 1. SOUTH 89 DEGREES 47 MINUTES 26 SECONDS WEST A DISTANCE OF 265.75 FEET TO A 1/2" CAPPED IRON ROD SET (LABELED 4857, TYPICAL) FOR CORNER;
- 2. NORTH 00 DEGREES 09 MINUTES 24 SECONDS WEST A DISTANCE OF 397.47 FEET TO A 1/2" CAPPED IRON ROD SET FOR CORNER IN THE NORTH LINE OF SAID 25.808 ACRE TRACT;

THENCE NORTH 89 DEGREES 47 MINUTES 26 SECONDS EAST ALONG OR NEAR A FENCE WITH THE NORTH LINE OF SAID 25.808 ACRE TRACT A DISTANCE OF 265.31 FEET TO A PK NAIL SET IN SAID FLORENCE ROAD FOR THE NORTHEAST CORNER OF SAID 25.808 ACRE TRACT;

THENCE SOUTH 00 DEGREES 13 MINUTES 14 SECONDS EAST ALONG SAID FLORENCE ROAD WITH THE EAST LINE OF SAID 25.808 ACRE TRACT A DISTANCE OF 397.47 FEET TO THE POINT OF BEGINNING, AND ENCLOSING 2.423 ACRES OF LAND, MORE OR LESS.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT JAMES H. ABERCROMBIE, THROUGH THE UNDERSIGNED AUTHORITY, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS ABERCROMBIE ADDITION IN THE ETJ OF THE TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS AND ALLEYS SHOWN HEREON; AND DOES HEREBY DEDICATE THE EASEMENT STRIPS SHOWN ON THE PLAT FOR MUTUAL USE AND ACCOMMODATION OF THE TOWN OF NORTHLAKE AND ALL PUBLIC UTILITIES DESIRING TO USE, OR USING SAME, NO BUILDINGS, FENCES, TREES, SHRUBS, SIGNS, OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENT STRIPS ON SAID PLAT. THE TOWN OF NORTHLAKE AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, SIGNS, OR OTHER IMPROVEMENTS OR GROWTH WHICH IN ANY WAY MAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS, AND THE TOWN OF NORTHLAKE AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS AND EGRESS TO AND FROM ANY OF SAID EASEMENT STRIPS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME OR PROCURING THE PERMISSION OF ANYONE. A BLANKET EASEMENT OF A FIVE (5) FOOT RADIUS FROM THE CENTER POINT OF ALL FIRE HYDRANTS AND A FIVE (5) FOOT RADIUS FROM THE CENTER POINT OF ALL OTHER APPURTENANCES (FIRE HYDRANT VALVES, WATER METERS, METER BOXES, STREET LIGHTS) IS HEREBY GRANTED TO THE TOWN OF NORTHLAKE FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING AND MAINTAINING THE ABOVE NAMED APPURTENANCES.

WE DO FURTHER DEDICATE, SUBJECT TO THE EXCEPTIONS AND RESERVATIONS SET FORTH HEREINAFTER, TO THE PUBLIC USE FOREVER, ALL PUBLIC USE SPACES SHOWN ON THE FACE OF THE PLAT.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS THAT, JAMES H. ABERCROMBIE, HEREBY ADOPTS THIS PLAT DESIGNATING THE HEREIN DESCRIBED PROPERTY AS ABERCROMBIE ADDITION IN THE ETJ OF THE TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PUBLIC EASEMENTS AND RIGHTS-OF-WAY SHOWN HEREON.

JAMES H. ABERCROMBIE

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, THE UNDERSIGNED NOTARY IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED WITH ME KNOWING TO ME THAT THE PERSON, WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGE TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED AND, IN THE CAPACITY, THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE THIS _____ DAY OF _____ 20____

NOTARY PUBLIC IN THE STATE OF TEXAS,
MY COMMISSION EXPIRES _____

THAT I, J.E. THOMPSON II, A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION ON THE GROUND.

SIGNATURE _____

DATE _____

STATE OF TEXAS
COUNTY OF DENTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED J.E. THOMPSON II, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

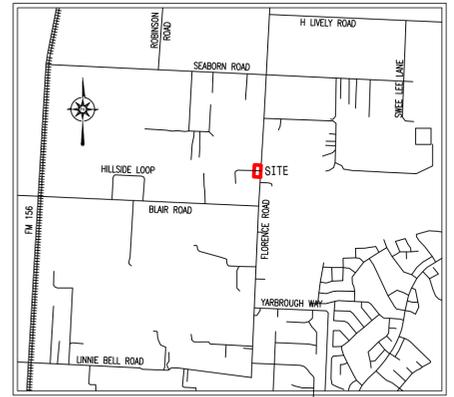
GIVEN UNDER MY HAND AND SEAL OF THE OFFICE THIS _____ DAY OF _____ 20____

NOTARY PUBLIC IN THE STATE OF TEXAS,
MY COMMISSION EXPIRES _____

MY COMMISSION EXPIRES _____

NOTES:

- 1. BEARING BASIS ARE DERIVED FROM GPS OBSERVATIONS MADE ON THE GROUND. TEXAS NORTH CENTRAL 4202 (NAD 83) COORDINATES SHOWN HEREON ARE GRID.
- 2. NO RESTRICTIONS IMPOSED PER THIS PLAT.
- 3. DOCUMENT NUMBER 2012-72285 IS A RIGHT OF WAY AGREEMENT THAT IS 30 FOOT WIDE EASEMENT TO SOUTHWESTERN GAS PIPELINE, INC. IT AFFECTS THE SUBJECT TRACT BY RIGHTS OF INGRESS.
- 4. WATER TO BE PROVIDED BY EXISTING PRIVATE WELL.
- 5. SANITARY SEWER TO BE PROVIDED BY PRIVATE FACILITIES AS APPROVED BY THE DENTON COUNTY PUBLIC HEALTH DEPARTMENT.
- 6. ELECTRIC SERVICE TO BE PROVIDED BY "COSERV ELECTRIC" 7701 SOUTH STEMMONS, CORINTH, TEXAS 76210 (940) 321-4640
- 7. THE MAINTENANCE OF PAVING, GRADING AND DRAINAGE IMPROVEMENT AND/OR EASEMENTS SHOWN ON THIS PLAT ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNERS AND DO NOT CONSTITUTE ACCEPTANCE OF SAME FOR MAINTENANCE PURPOSES BY DENTON COUNTY.
- 8. DENTON COUNTY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE OR PROPERTY OCCASIONED BY FLOODING OR FLOODING CONDITIONS.
- 9. ALL SURFACE DRAINAGE EASEMENTS SHALL BE KEPT FREE OF FENCES, BUILDINGS, FOUNDATION, PLANTINGS, AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE DRAINAGE FACILITY.
- 10. BLOCKING THE FLOW OF WATER OR CONSTRUCTION IMPROVEMENTS IN SURFACE DRAINAGE EASEMENTS, AND FILLING OR OBSTRUCTING THE FLOODWAY IS PROHIBITED.
- 11. THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVERSING ALONG OR ACROSS THE ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE COURSES ALONG OR ACROSS THE LOTS.
- 12. CONSTRUCTION NOT COMPLETE WITHIN TWO YEARS OF THE COMMISSIONERS COURT APPROVAL SHALL BE SUBJECT TO CURRENT COUNTY SUBDIVISION RULES AND REGULATIONS.
- 13. A DRIVEWAY CULVERT PERMIT MUST BE OBTAINED FROM DEVELOPMENTAL SERVICES DEPARTMENT BY THE OWNER OF EACH LOT PRIOR TO THE CONSTRUCTION, INSTALLATION, OR PLACEMENT OF ANY DRIVEWAY ACCESS IMPROVEMENTS WITHIN THE DEDICATED RIGHT-OF-WAY.
- 14. NO CONSTRUCTION, WITHOUT WRITTEN APPROVAL FROM DENTON COUNTY SHALL BE ALLOWED WITHIN AN IDENTIFIED "FIRM" FLOODPLAIN AREA, AND THEN ONLY AFTER A DETAILED FLOODPLAIN DEVELOPMENT PERMIT INCLUDING ENGINEERING PLANS AND STUDIES SHOW THAT NO RISE IN THE BASE FLOOD ELEVATION (BFE) WILL RESULT, THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT, AND SUBJECT TO ALL OWNERS OF THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST, WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREA PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD" AS SHOWN IN PANEL 0345 C OF SAID MAP. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- 15. FLOOD STATEMENT: I HAVE EXAMINED THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE DENTON COUNTY UNINCORPORATED AREA TEXAS, COMMUNITY NUMBER 480774, EFFECTIVE DATE 4-18-11 AND THAT MAP INDICATES THAT THIS PROPERTY IS WITHIN NON-SHADED "ZONE X" DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREA PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD" AS SHOWN IN PANEL 0345 C OF SAID MAP. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- 16. DENTON COUNTY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE OR PROPERTY OCCASIONED BY FLOODING OR FLOODING CONDITIONS.
- 17. THIS PROPERTY IS LOCATED WITHIN THE TOWN OF NORTHLAKE'S ETJ LIMITS.
- 18. NOTE: DITCH TO BE ESTABLISHED EAST-WEST ON WEST PROPERTY LINE.



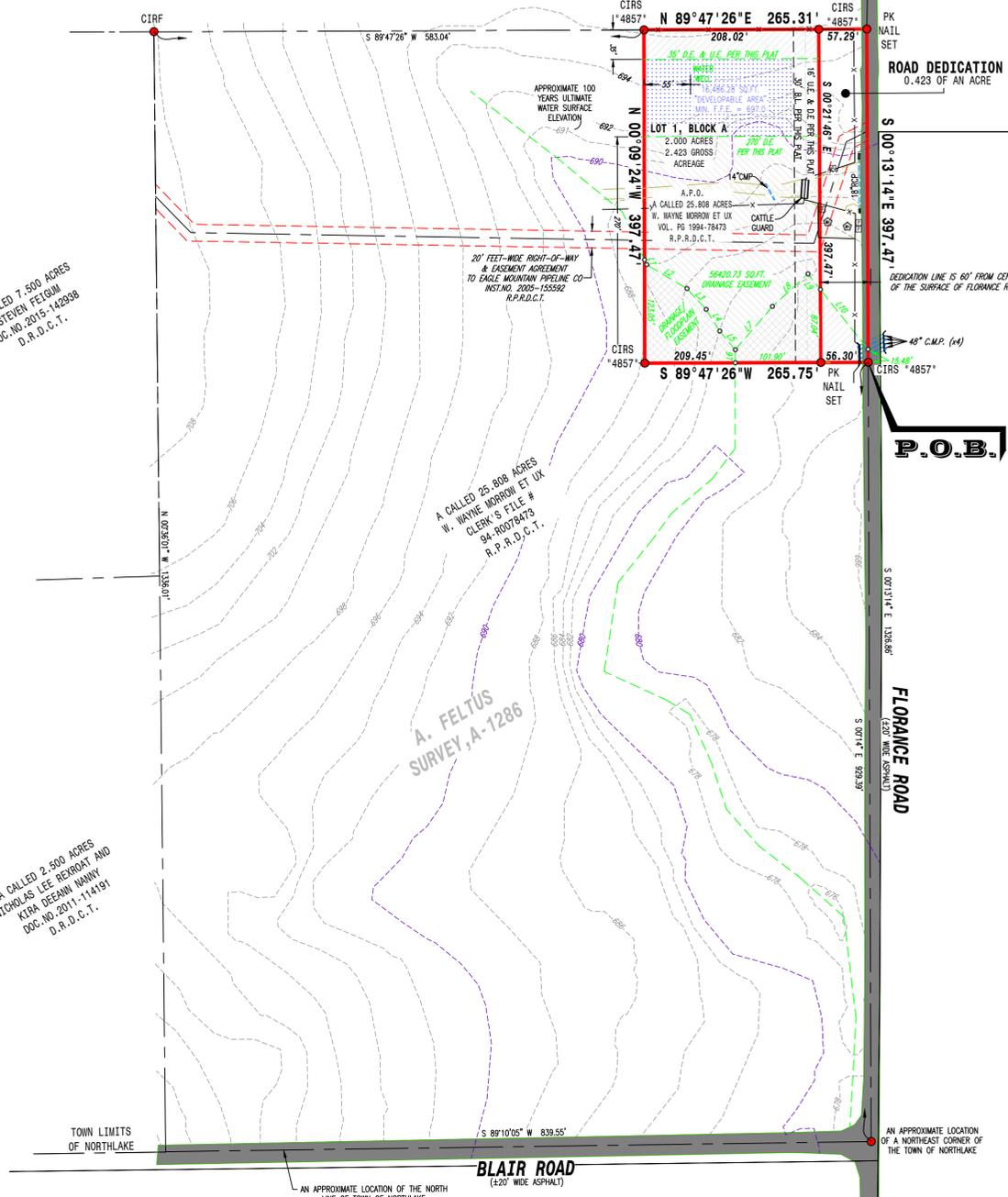
VICINITY MAP
(NOT TO SCALE)

A CALLED 7.500 ACRES
STEVEN FELDMAN
DOC. NO. 2015-142838
D.R.D.C.T.

A CALLED 102.2 ACRES
LUCILLE H. STEVENS
TRUSTEE OF THE THOMAS C.
TESTAMENTARY TRUST
DOC. NO. 2000-90522
D.R.D.C.T.

A CALLED 25.808 ACRES
W. WAYNE MORROW ET UX
CLERK'S FILE #
94-R0078473
R.P.R.D.C.T.

A CALLED 2.500 ACRES
NICHOLAS LEE BEHRENT AND
KARA DEAN WIMBY
DOC. NO. 2011-114191
D.R.D.C.T.



DRAINAGE EASEMENT LINE TABLE

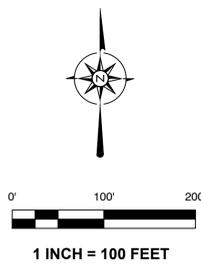
LINE	BEARING	DISTANCE
L1	N 24°46'45" W	6.09'
L2	S 59°15'00" E	55.73'
L3	S 42°29'19" E	33.83'
L4	S 31°58'32" E	30.37'
L5	S 39°36'31" E	29.07'
L6	S 00°05'43" W	15.53'
L7	N 40°37'25" E	68.01'
L8	N 47°25'16" E	57.39'
L9	S 38°31'04" E	23.74'
L10	S 38°31'04" E	91.20'

LEGEND

●	= PROPERTY CORNER	CM	= CONTROL MONUMENT
+	= BENCHMARK	+	= BEARING BASIS
⊕	= TELEPHONE/UTILITY RISER (TRUR)	FR	= FINISHED FLOOR
⊖	= BURIED CABLE MARKER (BCM)	MFCP	= METAL FENCE CORNER POST
⊙	= TELEPHONE MANHOLE (TMH)	WFPC	= METAL FENCE CORNER POST
⊚	= POWER/UTILITY POLE (PP/UT)	()	= PLAT/DEED CALLS
⊘	= LIGHT POLE (LP)	POB	= POINT OF BEGINNING
⊙	= GUY WIRE (GW)	RO.W	= RIGHT-OF-WAY
⊖	= ELECTRIC VAULT (EV)	D.E.	= DRAINAGE EASEMENT
⊖	= ELECTRIC TRANSFORMER (TRAN)	E.E.	= ELECTRIC EASEMENT
⊖	= WATER METER (WM)	U.E.	= UTILITY EASEMENT
⊖	= WATER VALVE (WV)	W.E.	= WATER EASEMENT
⊖	= FIRE HYDRANT (FH)	P.U.E.	= PUBLIC UTILITY EASEMENT
⊖	= WATER MANHOLE (WMH)	BL	= BUILDING/STACK LINE
⊖	= BURIED PIPELINE MARKER (BPM)	A.E.	= ACCESS EASEMENT
⊖	= GAS METER (GM)	F.L.E.	= FIRELANE EASEMENT
⊖	= GAS VALVE/TEST STATION (GV/TS)	S.W.E.	= SIDEWALK EASEMENT
⊖	= GAS WELL HEAD (WH)	S.S.E.	= SANITARY SEWER EASEMENT
⊖	= PROPANE TANK (PT)	IRF	= IRON ROD FOUND
⊖	= SEPTIC CLEANOUT (CO)	CIRF	= CAPPED IRON ROD FOUND
⊖	= SEPTIC LID (SEPT)	CIRS	= CAPPED IRON ROD SET
⊖	= SANITARY SEWER MANHOLE (SSMH)	PKF	= PK NAIL FOUND
⊖	= STORM DRAIN MANHOLE (SDMH)	PKS	= PK NAIL SET
⊖	= SIGN (SGN)	CS	= CONCRETE SURFACE
⊖	= FLAGPOLE (FP)	AS	= ASPHALT SURFACE
⊖	= MAILBOX (MB)	GS	= GRAVEL SURFACE
⊖	= ABSTRACT CORNER		

LINETYPE LEGEND

—	PROPERTY LINE
- - -	EASEMENT LINES
- · - ·	DEED/LOT LINES
- · - ·	ADJOINER LINES
—	OVERHEAD UTILITY
—	ASPHALT ROAD
—	GRAVEL ROAD
- x - x	FENCE LINES
—	SURVEY LINES



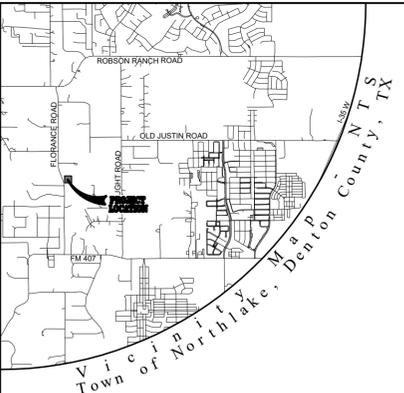
1 INCH = 100 FEET

APPROVED BY THE TOWN OF NORTHLAKE
DATE _____
TOWN MANAGER _____
TOWN SECRETARY, TOWN OF NORTHLAKE _____

FINAL PLAT OF ABERCROMBIE ADDITION LOT 1, BLOCK A
BEING 2.423 ACRES IN THE A. FELTUS SURVEY, ABSTRACT NO. 1286 IN THE TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS LOT BY USE NORTHLAKES ETJ

Logo for ALL AMERICAN SURVEYING, INC. with contact information: 111 N. DIXON ST. GAINESVILLE, TX 76240. PH: 940-665-9105. FAX: 940-665-9106. TBP'S FIRM NO. 10046900.

DRAWN BY: JET III	DATE: 04/08/2025	JOB NO: 23177-2	SCALE: 1" = 100'	PAGE: 1 OF 1
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GENERAL NOTES

1. BASIS OF BEARING BEING NORTH AMERICAN DATUM OF 1983(2011) EPOCH 2010.00 - TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE USING THE ALLTERRA RTKNET COOPERATIVE NETWORK. DISTANCES SHOWN ARE U.S. SURVEY FEET DISPLAYED IN SURFACE VALUES.
2. ALL PROPERTY CORNERS ARE 5/8 INCH CAPPED IRON ROD MARKED 'BHB INC' SET UNLESS OTHERWISE NOTED.
3. THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A CURRENT COMMITMENT FOR TITLE INSURANCE, ADDITIONAL EASEMENTS OR RESTRICTIONS MAY AFFECT THIS PROPERTY.
4. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
5. OPEN AREAS AND DRAINAGE SYSTEM MAINTENANCE IS THE PROPERTY OWNERS ASSOCIATION RESPONSIBILITY.
6. WATER SERVICE TO BE PROVIDED BY: TOWN OF NORTHLAKE 1500 COMMONS CIR, STE 300 NORTHLAKE, TEXAS 76226 PHONE: (940) 648-3290 WEBSITE: [HTTPS://WWW.TOWN.NORTHLAKE.TX.US/289/WATER](https://www.town.northlake.tx.us/289/WATER)
7. ELECTRIC SERVICE PROVIDED BY: COSERV 7701 S STEMMONS CORNITH, TX 76210 PHONE: (940) 321-7800 WEBSITE: [HTTPS://WWW.COSERV.COM](https://www.coserv.com)
8. SEWER SERVICE TO BE PROVIDED BY PRIVATE SEPTIC SYSTEM. SANITARY SEWER TO BE HANDLED BY FACILITIES APPROVED BY THE DENTON COUNTY HEALTH DEPARTMENT.
9. NO TELEPHONE SERVICE PROVIDED.
10. THE MAINTENANCE OF PAVING, GRADING, AND DRAINAGE IMPROVEMENTS AND/OR EASEMENTS SHOWN ON THIS PLAT ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNERS AND DOES NOT CONSTITUTE ACCEPTATION OF THE SAME FOR MAINTENANCE PURPOSES BY DENTON COUNTY OR THE TOWN OF NORTHLAKE.
11. ALL SURFACE DRAINAGE EASEMENTS, SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, FOUNDATIONS, PLANTING, AND OTHER OBSTRUCTIONS TO THE OPERATION AND MAINTENANCE OF THE DRAINAGE FACILITY.
12. BLOCKING THE FLOW OF WATER OR CONSTRUCTION IMPROVEMENTS IN THE SURFACE DRAINAGE EASEMENTS, FILLING, OR OBSTRUCTION THE FLOODWAY IS PROHIBITED.
13. DENTON COUNTY OR TOWN OF NORTHLAKE WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, PERSONAL INJURY, OR LOSS OF LIFE OR PROPERTY OCCASIONED BY FLOODING OR FLOODING CONDITIONS.
14. THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVERSING ALONG OR ACROSS THE ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE COURSES ALONG OR ACROSS THE LOTS.
15. NO CONSTRUCTION WITHOUT WRITTEN APPROVAL FROM DENTON COUNTY SHALL BE ALLOWED WITHIN AND IDENTIFIED "FIRM" FLOODPLAIN AREA, AND THEN ONLY AFTER A DETAILED FLOODPLAIN DEVELOPMENT PERMIT INCLUDING ENGINEERING PLANS OR STUDIES TO SHOW THAT NO RISE IN THE BASE FLOOD ELEVATION (BFE) WILL RESULT, THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT, AND SUBJECT TO ALL OWNERS OF THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST. WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF TWO FEET ABOVE THE 100-YEAR FLOOD ELEVATION.

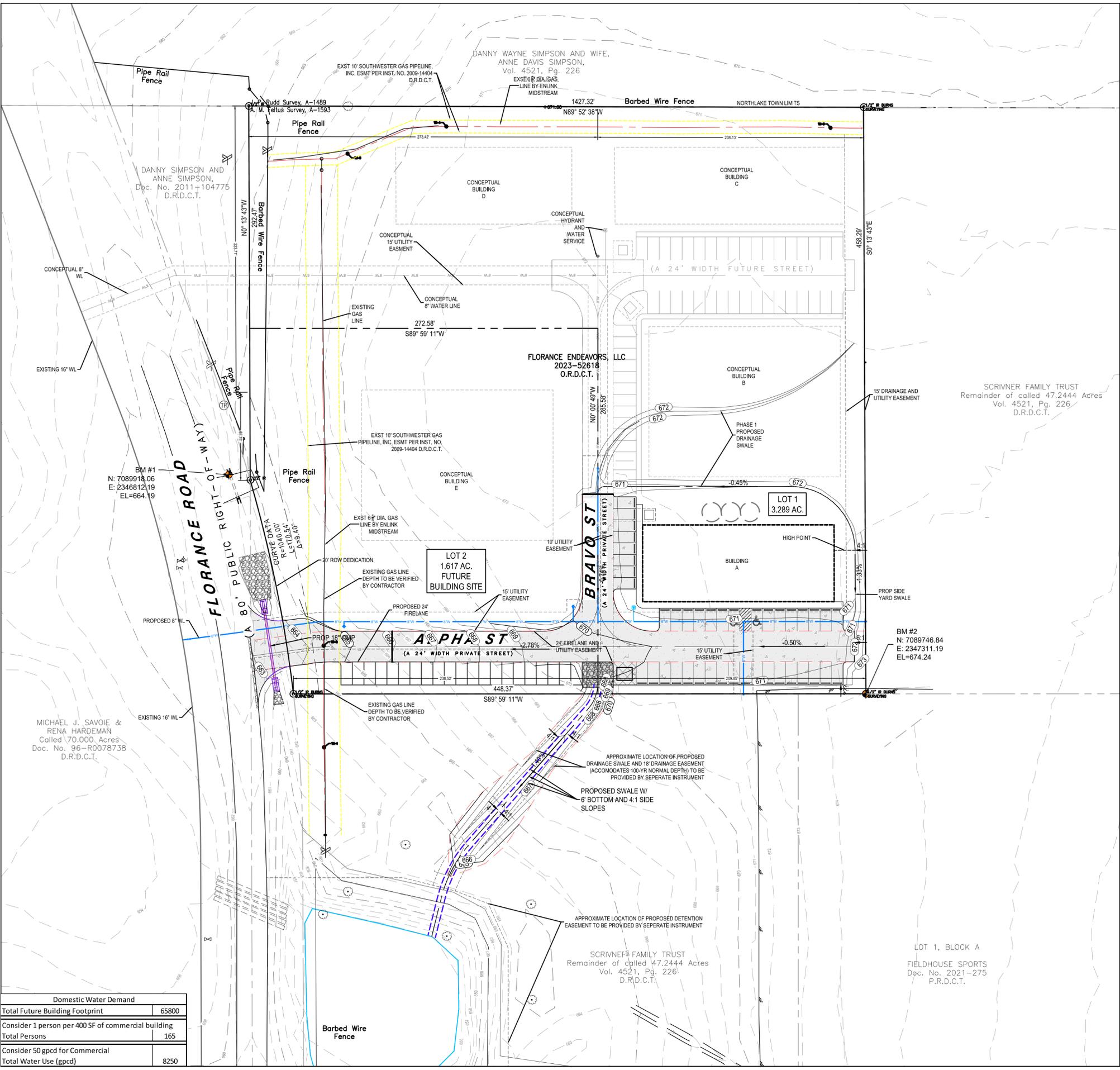
FLOOD ZONE NOTE

ACCORDING TO GRAPHICAL PLOTTING THE SUBJECT PROPERTY LIES WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 48121C0485G, MAP REVISED APRIL 18, 2011.

OWNER/DEVELOPER
 GADY HOLDINGS, LLC.
 11104 CARTWRIGHT DRIVE,
 DENTON, TX 76207
 BRIAN GADY
 (817) 909-7959

1901 Martin Drive, Suite 100 Weatherford, TX 76086
 mail@bhinc.com • 817.596.7575 • bhinc.com
 TBPE Firm #44 • TBPLS FIRM #10194146

Domestic Water Demand	
Total Future Building Footprint	65800
Consider 1 person per 400 SF of commercial building	
Total Persons	165
Consider 50 gpcd for Commercial	
Total Water Use (gpcd)	8250



METES & BOUNDS

BEING a tract of land situated in the A.M. Feltus Survey, Abstract Number 1593, Denton County, Texas. (Bearings referenced to U.S. State Plane Grid 1983 - Texas Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.)

- BEGINNING at a found 1/2-inch capped iron rod on the east right-of-way line of Florance Road (a variable width public right-of-way);
- THENCE North 0°13'43" West for a total distance of 292.17 feet to a found 1/2-inch capped iron rod marked for the northwest corner of said tract;
- THENCE South 89°52'38" West a distance of 481.55 feet to a found 1/2-inch capped iron rod;
- THENCE South 00°13'43" East a distance of 458.29 feet to a found 1/2-inch capped iron rod;
- THENCE South 89°59'11" West a distance of 448.37 feet to a found 1/2-inch capped iron rod;
- THENCE along a curve bearing North 11°27'29" West with a radius of 1,040 feet for a distance of 170.54 feet to the POINT OF BEGINNING and containing 217,795 square feet or 5.000 acres of land more or less.



GRAPHIC SCALE: 1" = 40'-0" (22"x34")
 1" = 80'-0" (11"x17")

LEGEND

- B.L.....Building Line
- CIRF.....Found 1/2-Inch Capped Iron Rod
- CIRF(J).....Found 1/2-Inch Capped Iron Rod marked "JBI"
- DOC.....Document
- D.R.D.C.T.....Deed Records, Denton County, Texas
- FD.....Found
- IRF.....1/2-Inch Iron Rod Found
- IRS.....Set 5/8-Inch Capped Iron Rod marked "BHB INC"
- NO.....Number
- P.R.D.C.T.....Plat Records, Denton County, Texas

APPROVAL BY THE TOWN OF NORTHLAKE

Date _____

Town Manager, Town of Northlake _____

Town Secretary, Town of Northlake _____

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

NOTE:

The Owner shall indemnify, defend, and hold harmless the Town of Northlake, its officers, employees, and agents from any direct or indirect loss, damage, liability, or expense and attorney's fees for any negligence whatsoever, arising out of the design, construction, operation, maintenance, condition, or use of the "Detention Facility", including any non-performance of the foregoing, in form and substance as required by the "Uniform Development Code."

PRELIMINARY PLAT
 of
FLORANCE NORTH BUSINESS PARK
 LOTS 1-3, BLOCK A
 BEING 5.000 ACRES SITUATED WITHIN
 A.M FELTUS SURVEY, ABSTRACT NO. 1593
 IN THE TOWN OF NORTHLAKE ETJ, DENTON
 COUNTY, TEXAS
DECEMBER 2024

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION



DATE: June 17, 2025
REF. DOC.: Unified Development Code (UDC); Texas Local Government Code (TLGC)
SUBJECT: Briefing - Annual Board Training
GOALS/ Plan Intentionally and Responsibly; 3.1 - Identify and plan for changes in codes and zoning
OBJECTIVES: that enhance desired development

BACKGROUND INFORMATION:

- Town staff will provide training on basic laws, policies, and procedures relevant to Planning and Zoning (P&Z) Commission
 - Training planned annually following new Commissioner appointments
 - Provides orientation for new Commissioners and refresher for current Commissioners
- Development Director will provide overview of P&Z to include:
 - Authority of P&Z
 - P&Z membership
 - Role and powers of P&Z
- Training will be continued at the July 15th meeting
 - Town Secretary will present on following topics as they apply to P&Z:
 - Public Information Act
 - Open Meetings Act
 - Parliamentary Procedure

P&Z ACTION:

- Learn basic laws, policies, and procedures relevant to P&Z
- Provide feedback as P&Z deems necessary

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION



DATE: June 17, 2025
REF. DOC.: Unified Development Code (UDC)
SUBJECT: Consider selection of:
i. Chairperson
ii. Vice-Chairperson
GOALS/ OBJECTIVES: Plan Intentionally and Responsibly; 3.1 - Identify and plan for changes in codes and zoning that enhance desired development

BACKGROUND INFORMATION:

- Chairperson and Vice-Chairperson to be selected from Commission members
- First item of business at first scheduled Planning and Zoning (P&Z) meeting in June or as soon thereafter as practicable
- Chairperson
 - Shall preside over meetings
 - Roberts Rules of Order shall apply
- Vice-Chairperson
 - Assist the Chairperson in directing affairs of P&Z
 - Assume duties of Chairperson in their absence

Place	Name	Status
Place 1	Chris Amarante	Returning member
Place 2	Roger Nolan	New member
Place 3	Sal Esposito	New member
Place 4	Linda King	Returning member (incumbent Vice-Chairperson)
Place 5	Saketh Parsa	Returning member
Place 6	Danny Simpson	Returning member
Place 7	Robert Keeker	Returning member

P&Z ACTION:

Appoint Chairperson and Vice-Chairperson

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION



DATE: June 17, 2025
REF. DOC.: Northlake Home Rule Charter
SUBJECT: Consider approval of meeting minutes for April 15, 2025
**GOALS/
OBJECTIVES:** Invest in Infrastructure; 4.5 - Leverage technology and equipment to deliver services

BACKGROUND INFORMATION:

- Approve Meeting Minutes:
 - April 15, 2025 - Regular Meeting

P&Z ACTION:

Approve Minutes Draft as Presented.



**NORTHLAKE PLANNING & ZONING COMMISSION
REGULAR MEETING MINUTES
TOWN HALL - COUNCIL CHAMBER ROOM
1500 COMMONS CIRCLE, SUITE 300, NORTHLAKE, TEXAS 76226
APRIL 15, 2025**

After determining that a quorum was present, the Planning and Zoning Commission convened a Regular Meeting on April 15, 2025, at 5:30 p.m., in the Town Hall - Council Chambers, 1500 Commons Circle, Suite 300, Northlake, Texas, where the following was discussed and/or considered:

1. CALL TO ORDER

Vice-Chairperson King called the meeting to order at 5:30 p.m., roll call was noted as follows:

Joshua Pezzuto - Absent with Notice	Jana Hall
Chris Amarante - Absent with Notice	Danny Simpson
Linda King	Saketh Parsa - Absent with Notice
Robert Keeker	

Staff Present:

Nathan Reddin, Development Services Director	Zolaina Parker, Town Secretary
Lora Hutchings, Planning & Permitting Coordinator	

2. ANNOUNCEMENTS, PROCLAMATIONS, AND PRESENTATIONS

A. Briefing - Approved Plats Report

The item was presented by Nathan Reddin, Development Services Director, and commentary followed.

There was no consensus as the item was for information purposes only.

3. PUBLIC INPUT

None

4. ACTION ITEMS

**A. Consider approval of meeting minutes for February 18, 2025
APPROVED**

The item was presented, and discussion followed.

Commissioner Simpson moved to approve the item as presented. Motion seconded by Vice-Chairperson King. Motion Passed.

AYES (4): King, Hall, Simpson, Keeker

NAYS (0): None

ABSENT (3): Pezzuto, Amarante, Parsa

- B. Consider approval of a Site Plan of Northlake Bible Church, a proposed Church on an 11.54-acre tract of land generally located south of FM 407 and west of intersection of Faught Road - Case # 24-SP00012

APPROVED

The item was presented, and discussion followed.

Commissioner Keeker moved to approve the item as presented. Motion seconded by Commissioner Hall. Motion Passed.

AYES (4): King, Hall, Simpson, Keeker

NAYS (0): None

ABSENT (3): Pezzuto, Amarante, Parsa

5. **ADJOURN**

With no further business, Chairperson Pezzuto adjourned the meeting at 5:41 p.m.

Chairperson

Attest:

Zolaina R. Parker, Town Secretary

MINUTES APPROVED ON: _____

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION



DATE: June 17, 2025
REF. DOC.: Unified Development Code (UDC) ; Engineering Design Manual (EDM); Chadwick Farms (M-PD)
SUBJECT: Consider approval of a Site Plan for StudioRes, a proposed 124-room hotel on a proposed 2-acre lot to be platted as Chadwick Farms, Lot 4B, Block 1, generally located on the south side of SH 114 approximately 200 feet west of Chadwick Parkway - Case # 25-SP00002
GOALS/ OBJECTIVES: Protect the Public; 1.4 - Ensure safe community standards and processes

BACKGROUND INFORMATION:

Owner: Chadwick Farms, Ltd
Applicant/Developer: Concord Hotels
Engineer: GM Civil Engineering
Zoning: M-PD - Mixed Use Planned Development
Site:

- Proposed 2-acre lot to be platted as Chadwick Farms, Lot 4B, Block 1
- Located on the south side of SH 114 approximately 200 feet west of Chadwick Parkway
- Site to be accessed from future Olympic Plaza on north side of StarCenter Multisport Northlake

Summary:

- Site Plan shows:
 - One 14,025 square-foot hotel with 124 rooms
 - Hotel planned as new Marriott brand, StudioRes
 - 115 parking spaces provided

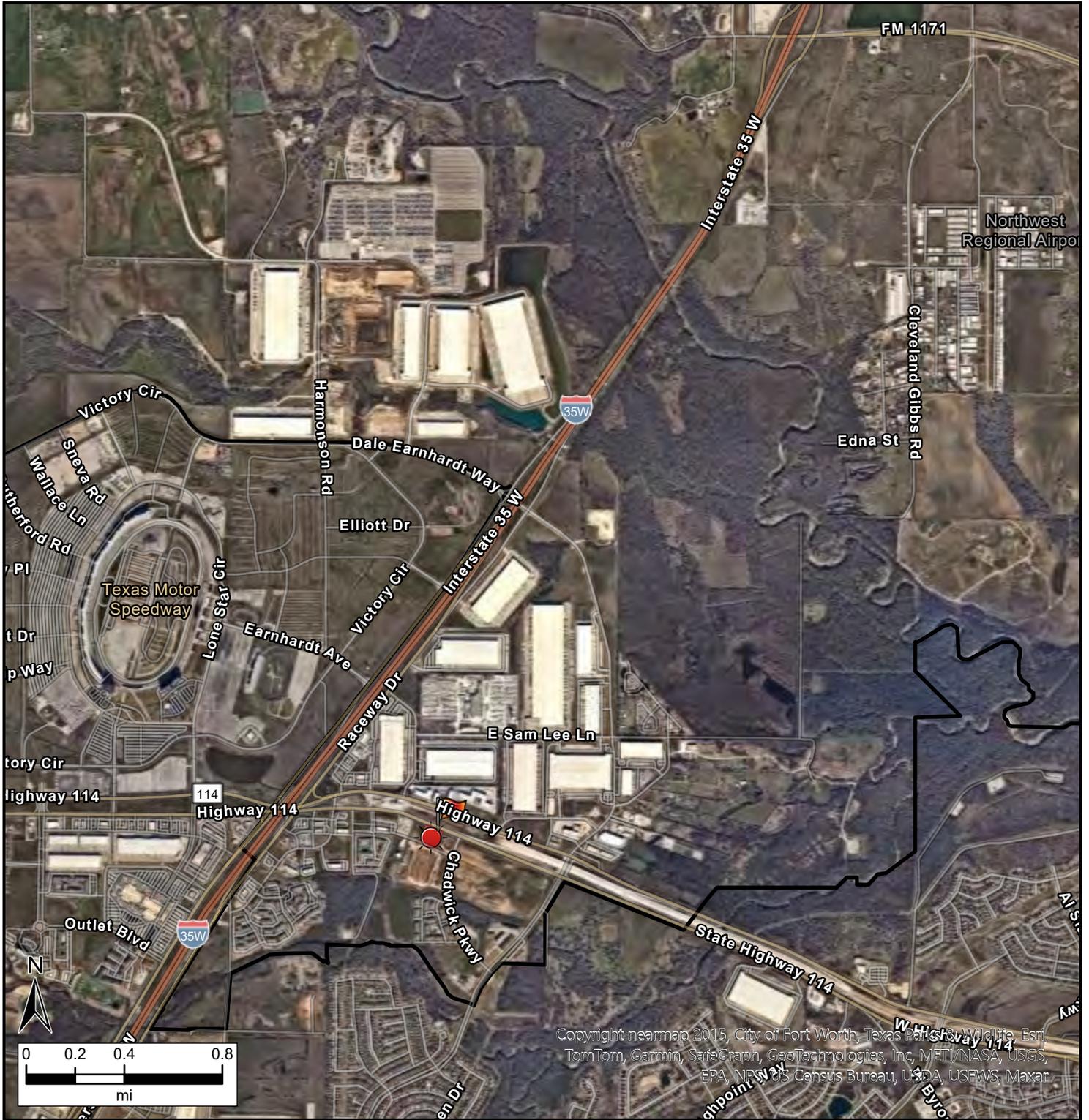
Staff Analysis:

- Applicant submitted site plan application according to UDC requirements
- Site Plan Package includes:
 - Site Plan
 - Landscape Plan
 - Building Elevations
- Site Plan Package:
 - Meets or exceeds development standards outlined in M-PD and UDC

P&Z ACTION:

- Consider approval of site plan as submitted

Concord Hotel - Location Map



Concord Hotel - Aerial Map



VICINITY MAP



BOUNDARY CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	195.46	464.96	24°05'08"	N59°34'53"W	194.02
C2	113.93	425.00	15°21'33"	N55°13'07"W	113.59

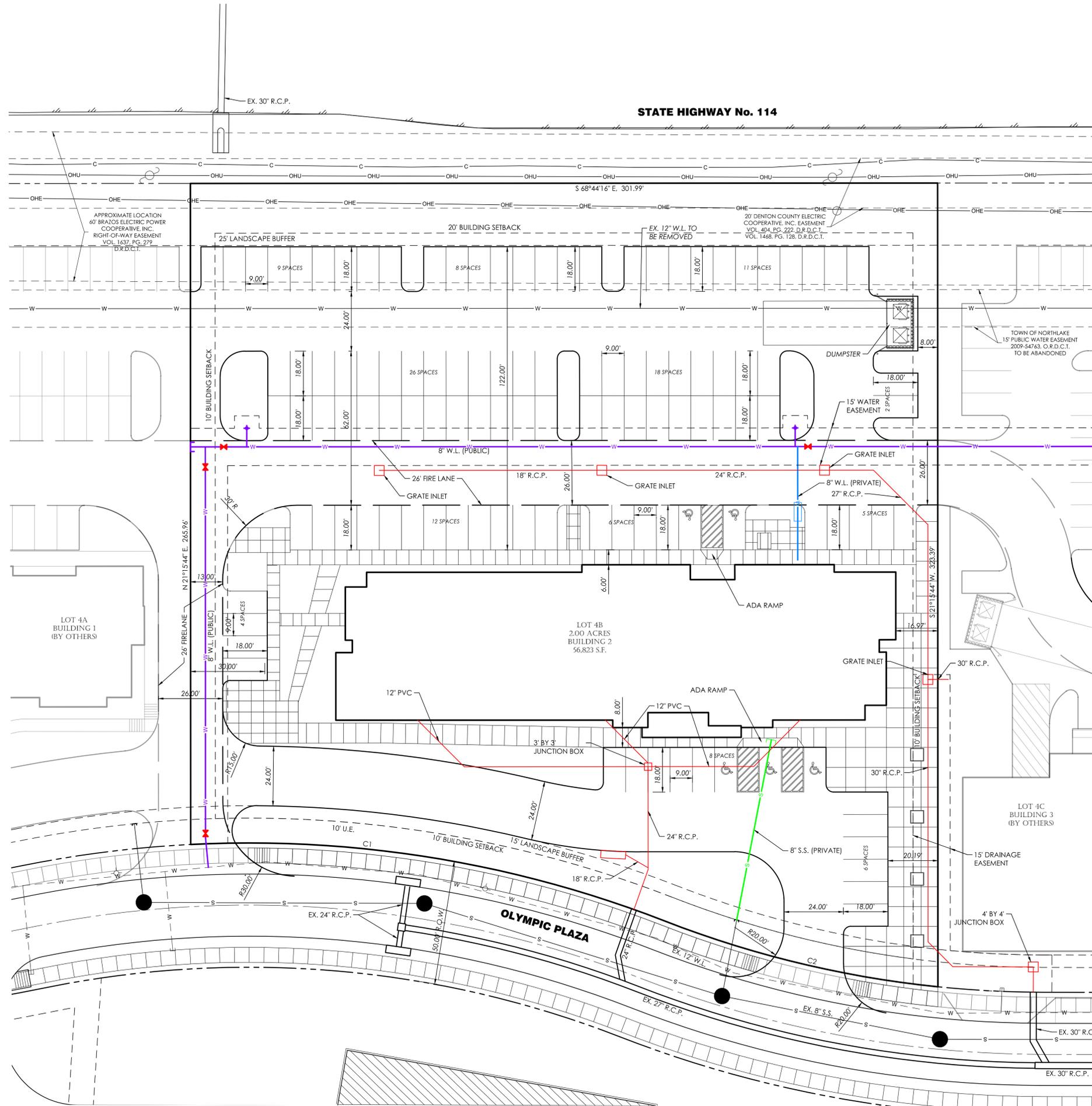
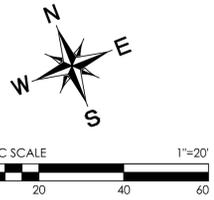
SITE DATA TABLE - CHADWICK FARMS LOTS 4B

EXISTING ZONING:	M-PD
PROPOSED USE:	M-PD
GROSS SITE AREA:	2.00 Acres
MIN. FRONT YARD SETBACK:	20 FEET
MIN. REAR YARD SETBACK:	10 FEET
MIN. SIDE YARD SETBACK:	10 FEET
MIN. SIDE YARD SETBACK (ADJ. TO STREET):	10 FEET

LOT 4B	
LOT AREA:	2.00 Acres
BUILDING AREA:	14,025 S.F.
BUILDING HEIGHT:	45' 10"
BUILDING 2 PROVIDED PARKING:	115 PARKING SPACES
BUILDING 2 REQUIRED PARKING:	112 PARKING SPACES (0.9 PER ROOM)
ADA PARKING PROVIDED:	5 PARKING SPACES
ADA PARKING REQUIRED:	5 PARKING SPACES
FLOOR AREA RATIO:	0.161
OPEN SPACE AREA:	0.45 Acres

UTILITY LEGEND

	PROPOSED SANITARY SEWER
	PROPOSED PUBLIC WATER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED PRIVATE WATER LINE
	PROPOSED STORM DRAIN
	EXISTING SANITARY SEWER & MANHOLE
	EXISTING PUBLIC WATER LINE
	EXISTING STORM DRAIN



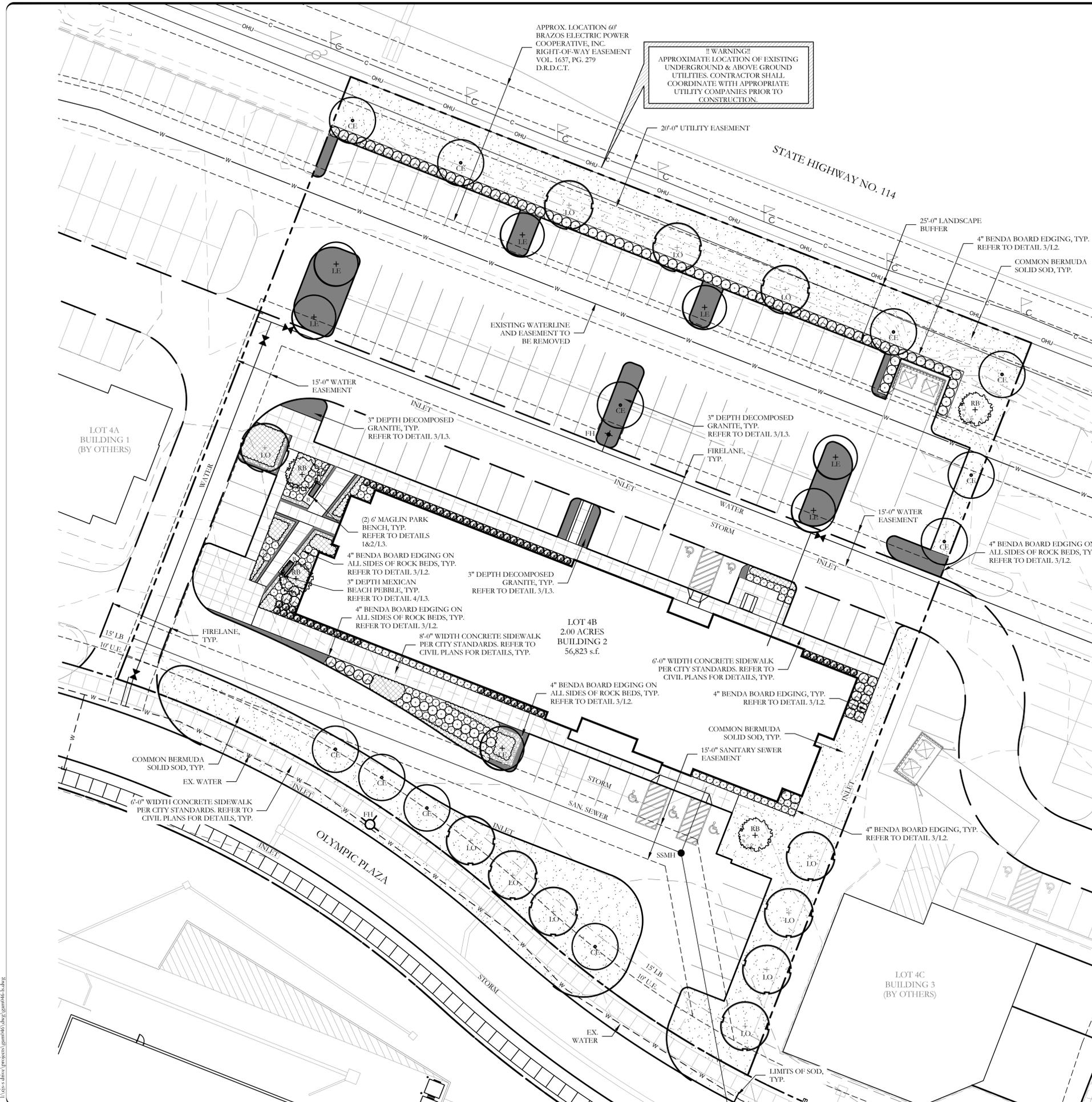
PREPARED BY:

GM civil
 Engineering & Surveying
 2559 SW Grapevine Pkwy, Grapevine, Texas 76051
 817-329-4373
 TX Eng Firm # F-2944 | TX Surv Firm # 10021700

PREPARED FOR:

CONCORD
 DEVELOPMENT
 QUALITY | SCHEDULE | BUDGET

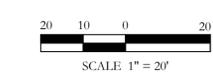
SITE PLAN
 OF
CHADWICK FARMS
LOT 4B
 BEING
 2.00 ACRES
 SITUATED IN THE
LEWIS MEDLIN SURVEY,
ABSTRACT No. 830
TOWN OF NORTHLAKE,
DENTON COUNTY TEXAS
 1 NON-RESIDENTIAL LOTS
 Date: April 2025



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	10 GALLON	48" O.C.
		EDWARD GOUCHER ABELLA	ABELLA GRANDIFLORA 'EDWARD GOUCHER'	10 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		SUNSHINE LIGUSTRUM	LIGUSTRUM SINENSE 'SUNSHINE'	7 GALLON	36" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		DECOMPOSED GRANITE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		MEXICAN BEACH PEBBLE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

- ### LANDSCAPE PROVIDED
- STATE HIGHWAY 114**
- A. MINIMUM TWENTY-FIVE (25) FOOT LANDSCAPE BUFFER PROVIDED
 - B. 3'-0" MIN. HT. 10 GAL. SHRUBS REQUIRED FOR PARKING LOT SCREENING. PROVIDED: 70- 10 GAL. SHRUBS PROVIDED
 - C. 1-2.5" CAL. CANOPY TREE / 50 LF OF LANDSCAPE EDGE
305 LF OF FRONTAGE / 50 LF = 6.1 - 2.5" CAL. TREES REQUIRED
PROVIDED: 7 - 2.5" CALIPER AND GREATER CANOPY TREES PROVIDED
 - D. 1-2.5" CAL. CANOPY TREE / 10 PARKING SPACES
97 PARKING SPACES / 10 = 9.7 - 2.5" CAL. TREES REQUIRED
PROVIDED: 10 - 2.5" CALIPER AND GREATER CANOPY TREES PROVIDED
- OLYMPIC PLAZA**
- A. MINIMUM FIFTEEN (15) FOOT LANDSCAPE BUFFER PROVIDED
 - B. 1-2.5" CAL. CANOPY TREE / 50 LF OF LANDSCAPE EDGE
307 LF OF FRONTAGE / 50 LF = 6.1 - 2.5" CAL. TREES REQUIRED
PROVIDED: 7 - 2.5" CALIPER AND GREATER CANOPY TREES PROVIDED
 - C. 1-2.5" CAL. CANOPY TREE / 10 PARKING SPACES
14 PARKING SPACES / 10 = 1.4 - 2.5" CAL. TREES REQUIRED
PROVIDED: 2 - 2.5" CALIPER AND GREATER CANOPY TREES PROVIDED
- PARKING LOT OPEN SPACE**
- A. INTERIOR PARKING LOT LANDSCAPING SHALL BE MIN. 8% OPEN SPACE.
46,420 SQ FT PARKING AREA / 8% = 3,715 SQ FT OPEN SPACE REQUIRED
PROVIDED: 4,675 SQ FT PARKING LOT OPEN SPACE



GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

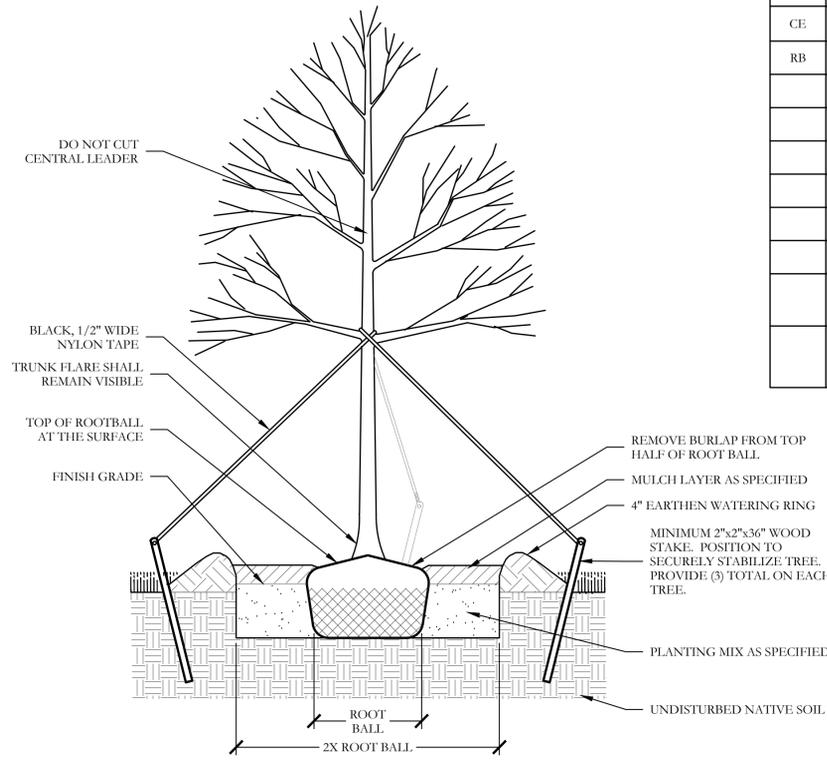
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

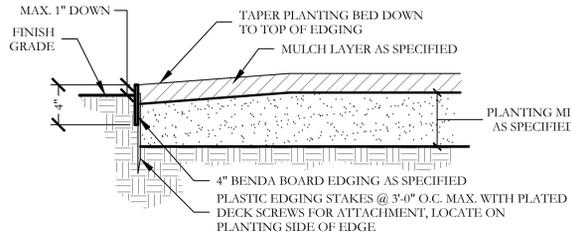
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

PLANT LIST

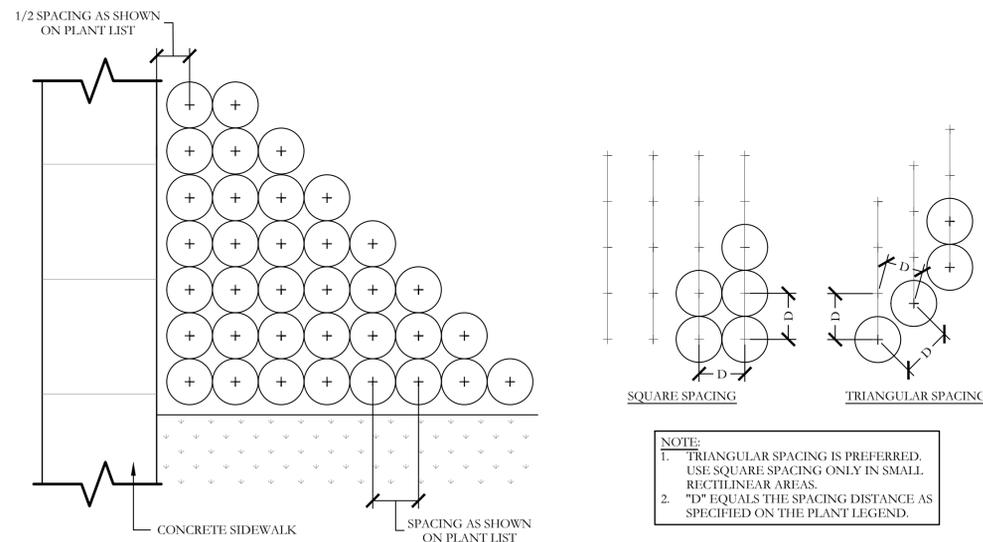
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	11	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	11	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	7	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	4	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	52	STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	10 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	58	EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	10 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	65	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	110	SUNSHINE LIGUSTRUM	LIGUSTRUM SINENSE 'SUNSHINE'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	450	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	18,075	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	2,560	DECOMPOSED GRANITE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1/2" - 1" DIAMETER IN SIZE.
	280	MEXICAN BEACH PEBBLE	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1/2"-2" AND 2"-4" IN SIZE.



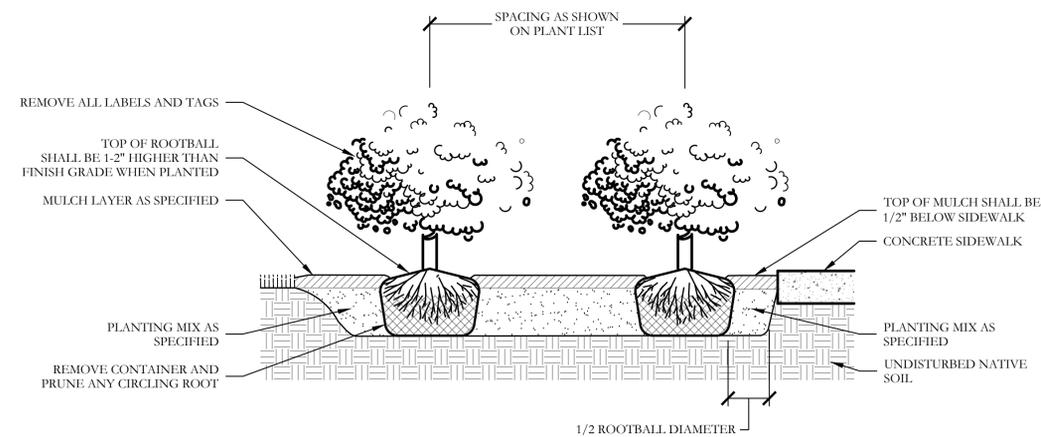
1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



3 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



2 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE



3 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE

MBE-0310-00001
Legacy # MLB310-M

300 SERIES



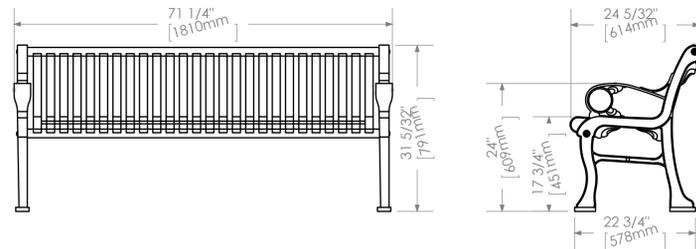
MATERIALS: Bench ends are made from solid cast aluminum. The seat employs flat bar straps and H.S. steel tube.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bench is delivered pre-assembled. Holes (0.5") are provided in each foot for securing to base.

TO SPECIFY: Select MBE-0310-00001
Choose:
- Powdercoat Color

HEIGHT: 31.16" (79.1cm) LENGTH: 71.25" (177.8cm) DEPTH: 22.75" (57.8cm) WEIGHT: 134 lbs (61kg)



T 800 716 5506
F 877 280 9393
www.maglin.com
sales@maglin.com

- All drawings, specifications, design and details on this page remain the property of Maglin Site Furniture Inc. and may not be used without Maglin authorization.
- Details and specifications may vary due to continuing improvements of our products.

1 6' MAGLIN PARK BENCH
PRODUCT CUTSHEET

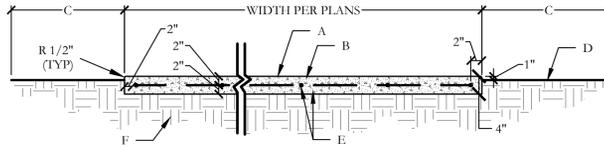
SCALE: NOT TO SCALE

GENERAL NOTES:

- PAVING TO HAVE A 2% CROSS SLOPE AS SHOWN.
- THE MATERIALS AND WORKMANSHIP FOR CONCRETE PAVING SHALL BE IN ACCORDANCE WITH N.C.T.C.O.G. SPECIFICATIONS OR AS MODIFIED BY THE CITY.

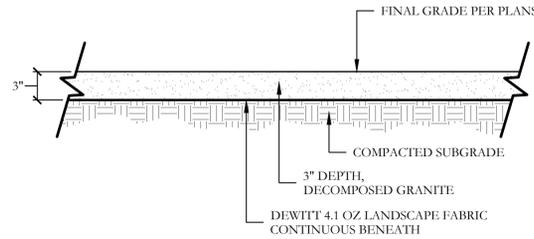
CONSTRUCTION NOTES:

- 3000 PSI CONCRETE SIDEWALK.
- MEDIUM BROOM FINISH.
- FINISH GRADE, PROVIDE POSITIVE DRAINAGE AWAY FROM CONCRETE, SLOPE AWAY FROM SIDEWALK AT MAX. 2%.
- FINISH GRADE.
- 4" CONCRETE TRAIL WITH #3 BARS @ 18" O.C. BOTH WAYS.
- COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY.



2 SIDEWALK CONCRETE PAVING
SECTION

SCALE: 1/2" = 1'-0"

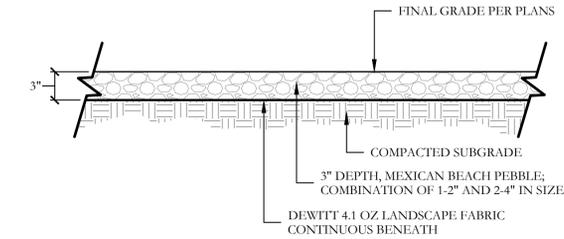


3 DECOMPOSED GRANITE DETAIL
SECTION

SCALE: 1" = 1'-0"

GENERAL PAVING NOTES

- THE LAYOUT OF ALL PROPOSED PAVING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- ALL PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION DETAILS SHOWN HEREIN.
- THE SUB GRADE BENEATH ALL PAVING SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- THE EDGES OF ALL FINISHED PAVING AND PLAYGROUND EDGES SHALL BE SMOOTH, GRACEFUL CURVILINEAR OR STRAIGHTFORMS WITH NO INTERRUPTIONS SUCH AS CHORDS, WAVES, JOGS, OR MISSED TANGENTS. ANY PAVEMENT WITH SUCH INTERRUPTIONS SHALL BE SUBJECT TO REPLACEMENT AT NO COST TO THE OWNER.
- CONCRETE SHALL NOT BE POURED UNTIL THE OWNER'S REPRESENTATIVE HAS INSPECTED THE FORMS AND REINFORCING. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE OF ALL CONCRETE POURS.
- PROVIDE AN UNDERCUT HEADER WHEREVER PROPOSED CONCRETE PAVING IS TO ADJUT EXISTING CONCRETE PAVING.
- ALL EXPOSED VERTICAL CONCRETE SURFACES SHALL HAVE A HAND RUBBED FINISH WITH NO HONEYCOMBS OR VOIDS.
- ALL CONSTRUCTION SHALL CONFORM WITH THE CITY OF NORTH LAKE CONSTRUCTION STANDARDS AND DETAILS.



4 MEXICAN BEACH PEBBLE BED
SECTION

SCALE: 1" = 1'-0"

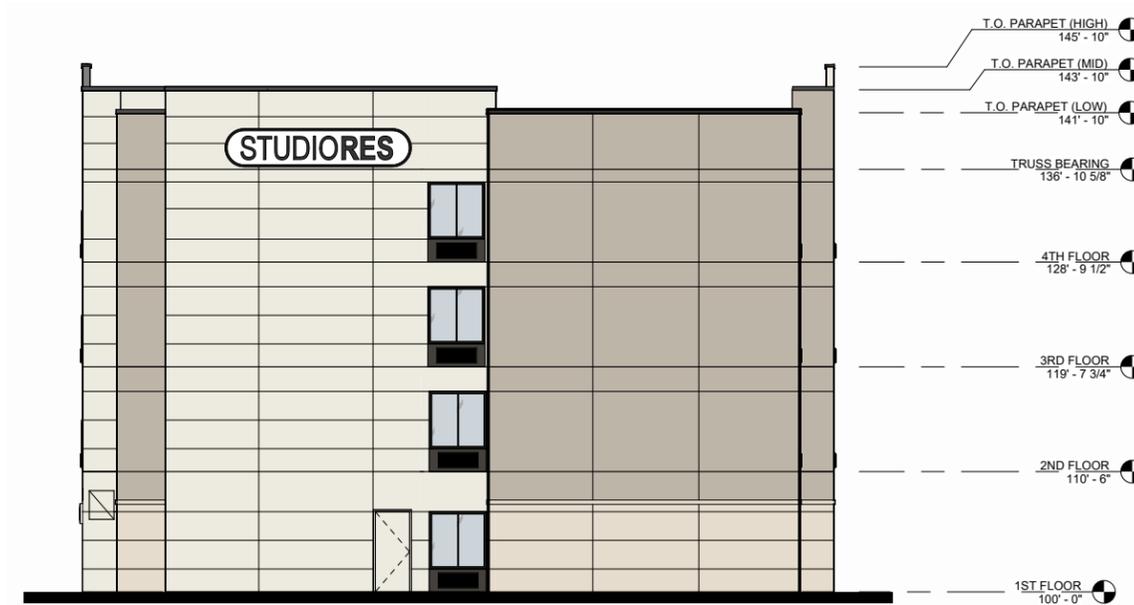
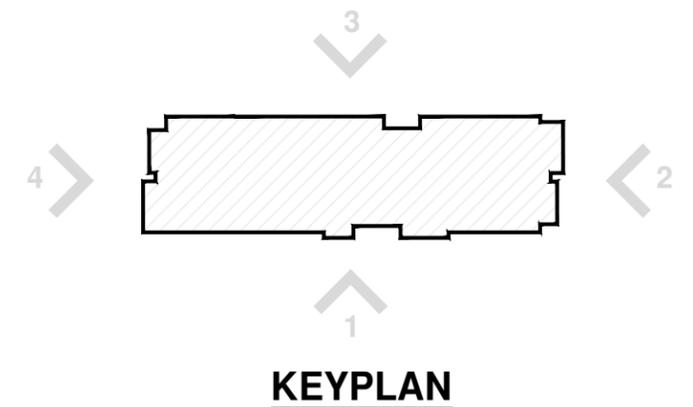


February 18, 2025

SCALE:
REFER TO
DETAILS
One Inch
JVC No GAM046

COLOR / MATERIAL LEGEND

- STUCCO 01: SW 7008 "ALABASTER"
- STUCCO 02: SW 7004 "AMAZING GRAY"
- STUCCO 03: SW 6105 "DIVINE WHITE"
- THIN BRICK: CALICO BY ACME BRICK
- EXTERIOR TRIM: DARK BRONZE



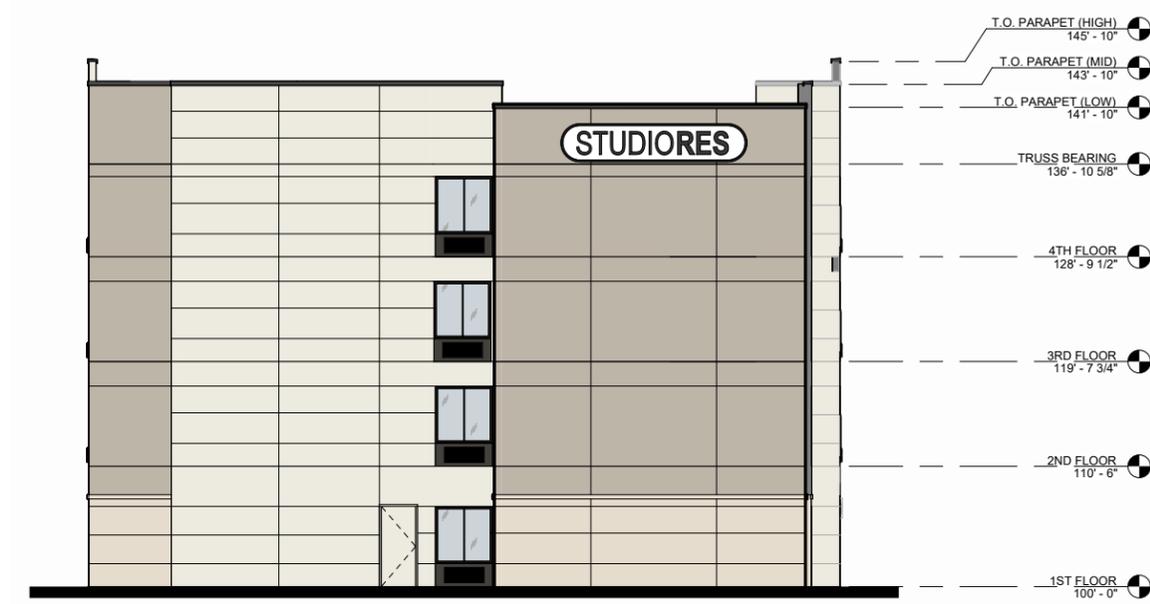
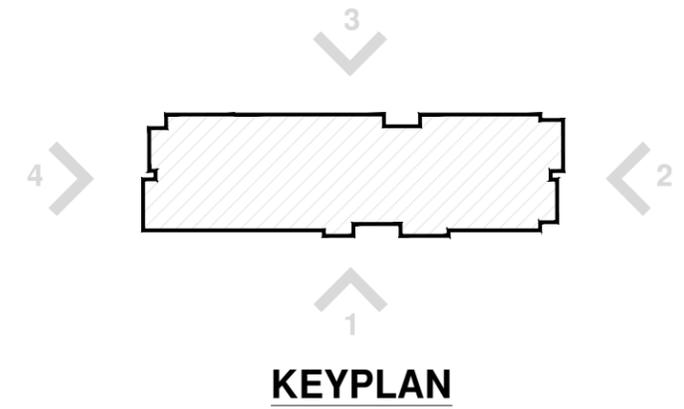
2 **SIDE ELEVATION**
SCALE: 1/16" = 1'-0"



1 **FRONT ELEVATION**
SCALE: 1/16" = 1'-0"

COLOR / MATERIAL LEGEND

- STUCCO 01: SW 7008 "ALABASTER"
- STUCCO 02: SW 7004 "AMAZING GRAY"
- STUCCO 03: SW 6105 "DIVINE WHITE"
- THIN BRICK: CALICO BY ACME BRICK
- EXTERIOR TRIM: DARK BRONZE



4 SIDE ELEVATION
SCALE: 1/16" = 1'-0"



3 REAR ELEVATION
SCALE: 1/16" = 1'-0"

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION



DATE: June 17, 2025

REF. DOC.: Unified Development Code (UDC) ; Engineering Design Manual (EDM); The Ridge at Northlake Mixed-Use Planned Development (M-PD)

SUBJECT: Consider approval of a Site Plan for Children's Lighthouse Northlake, a proposed 10,880 square-foot daycare center on a 1.216-acre lot, Lot 2, Block A, Northlake Crossing West, generally located southwest of Robson Ranch Road and Gibbs Road (formerly Cleveland-Gibbs Road) - Case # 24-SP00008

**GOALS/
OBJECTIVES:** Protect the Public; 1.4 - Ensure safe community standards and processes

BACKGROUND INFORMATION:

Owner: Little Blossoms, LLC

Applicant/Developer: Auxia, LLC

Applicant/Engineer: Kimley-Horn and Associates, Inc.

Zoning: M-PD Mixed Use Planned Development

Site:

- 1.216-acre lot platted as Lot 2, Block A, Northlake Crossing West
- Located southwest of Robson Ranch Road and Gibbs Road (formerly Cleveland-Gibbs Road)

Summary:

- Site Plan shows:
 - 10,880 square-foot daycare center
 - Planned to be operated as Children's Lighthouse Northlake
 - Playground with splash pad
 - 41 parking spaces

Staff Analysis:

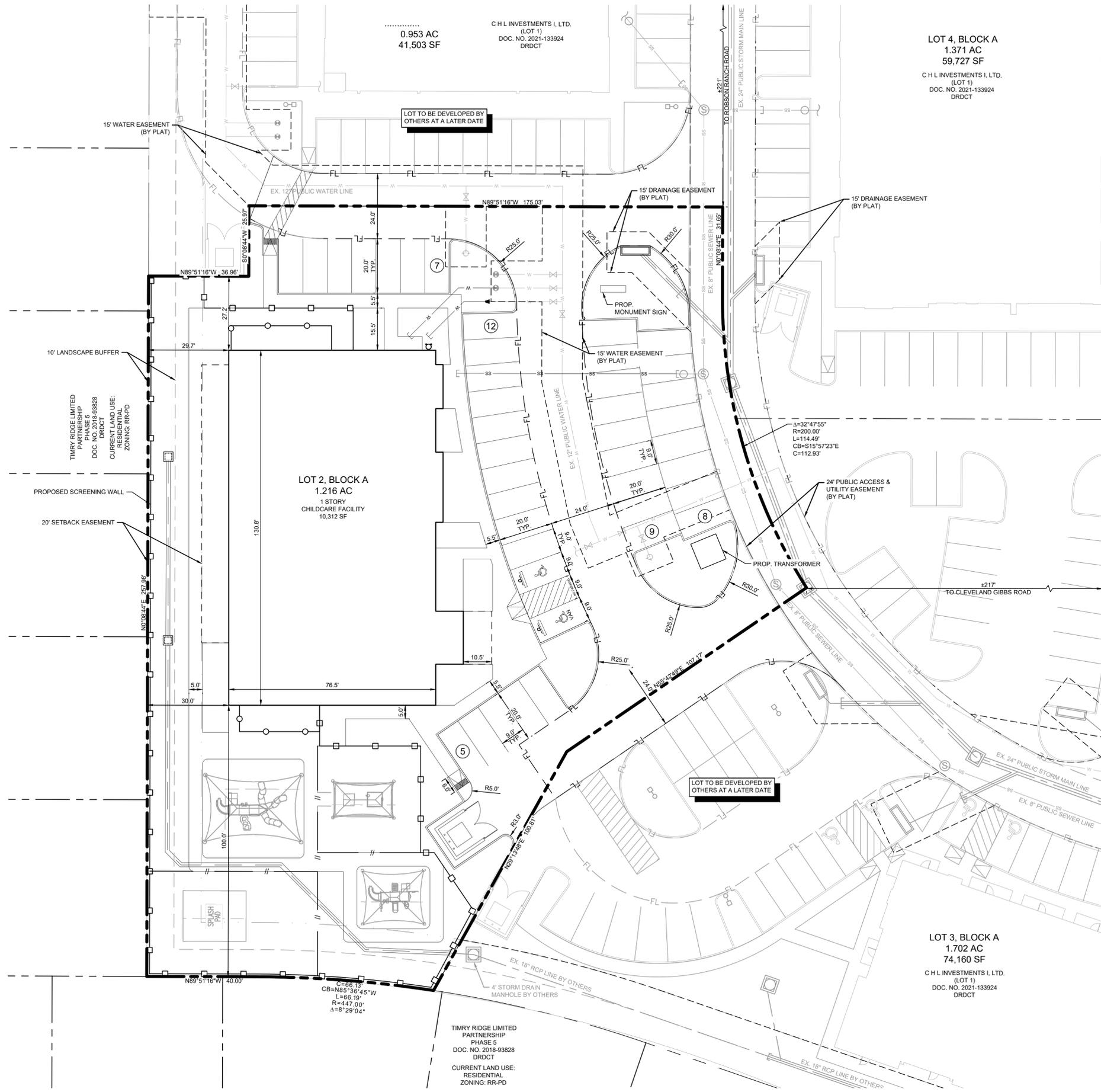
- Applicant submitted site plan application according to UDC requirements
- Site Plan Package includes:
 - Site Plan
 - Landscape Plan
 - Building Elevations
- Site Plan Package:
 - Meets or exceeds development standards outlined in M-PD and UDC

P&Z ACTION:

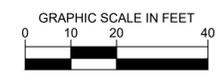
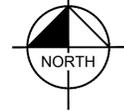
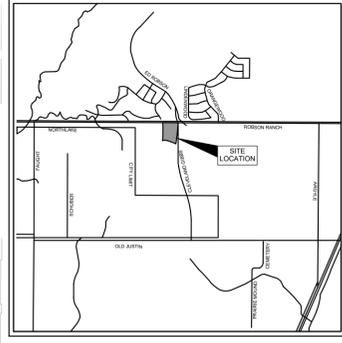
- Consider approval of site plan as submitted

MAPS
 PREPARED BY
 DATE: 07/20/2024 10:00 AM
 DRAWN BY: KJAC, LDR/AM/2024/07/20/24
 DWG NAME: SITE PLAN - [SITE PLAN]

This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Review and approval of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



VICINITY MAP



LEGEND	
PROPERTY LINE	---
EASEMENT LINE	- - - - -
PARKING COUNT	④
EXISTING FIRE HYDRANT	⊕
EXISTING WATER METER	⊗
EXISTING SS MANHOLE	⊙
PROPOSED FDC	⊕
EXISTING WATER LINE	— W — W —
PROPOSED WATER LINE	— W — W —
EXISTING SANITARY SEWER LINE	— SS — SS —
PROPOSED SANITARY SEWER LINE	— SS — SS —
CONNECT TO EXISTING PAVEMENT	---
6" WROUGHT IRON FENCE	⊠
4" WROUGHT IRON FENCE	
4" FENCE AROUND CONDENSER	○

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RADII ARE 2' UNLESS DIMENSIONED OTHERWISE.
 - CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, ETC. TO MATCH PROPOSED FINISHED GRADES IF NECESSARY.
 - REFER TO ARCHITECTURE PLANS FOR BUILDING DIMENSIONS. REFER TO LANDSCAPE ARCHITECT FOR DETAILED DIMENSIONS IN AMENITY AREAS.
 - REFER TO LANDSCAPE PLANS SIDEWALK LOCATIONS AND DIMENSIONS.
 - CONTRACTOR TO REFERENCE LANDSCAPE PLANS FOR ALL IMPROVEMENTS OUTSIDE OF PAVEMENT.
 - THERE IS NO FEMA FLOODPLAIN WITHIN OR ADJACENT TO THE PROJECT SITE.
 - IMPROVEMENTS SHOWN FOR LOT 1, 3, AND 4 ARE DONE BY OTHERS AND ARE AWAITING TOWN APPROVAL.
 - PROJECT SITE WILL BE INCLUDED IN FINAL PLAT DONE BY OTHERS THAT INCLUDES LOTS 1, 3, AND 4.

SITE DATA SUMMARY TABLE	
ZONING	MPD - Mixed-Use Planned Development
PROPOSED USE	DAYCARE FACILITY
BUILDING AREA (GROSS SF)	10,880 SF
BUILDING HEIGHT	39' 1"
AREA OF IMPERVIOUS SURFACE	0.916 ACRES
TOTAL PARKING REQUIRED	40 SPACES
ADA PARKING REQUIRED	2 SPACES (2 SPACES FOR 26-50 REGULAR SPACES)
PROPOSED SPACES (INCLUDING 2 ADA SPACES)	41 SPACES

LEGAL DESCRIPTION

LOT 2, BLOCK A OF LOTS 1-4, NORTHLAKE CROSSING WEST, AN ADDITION TO THE TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED UNDER DOCUMENT NUMBER 2024-254, PLAT RECORDS OF DENTON COUNTY, TEXAS.

DETAILED SITE PLAN
NORTHLAKE CROSSING WEST LOT 2
 1.216 ACRES IN THE PATRICK ROCK SURVEY ABSTRACT NO. 1063
 LOT 2 BLOCK A
 SW CORNER OF CLEVELAND GIBBS & ROBSON RANCH ROAD
 TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS
 RESUBMITTED: MAY 7, 2025

APPLICANT/DEVELOPER: AUXIA LLC 500 N. CENTRAL EXPRESSWAY, SUITE 500 PLANO, TEXAS 75074 PHONE: 469-777-8020	ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC. 225 E. JOHN CARPENTER FWY SUITE 1100 IRVING, TEXAS 75062 PHONE: 214.420.5600 CONTACT: JARED EARNEY, P.E.
---	--

NO.	REVISIONS	DATE	BY

Kimley-Horn
 225 E. JOHN CARPENTER FREEWAY, SUITE 1100
 IRVING, TX 75062
 PHONE: 214.420.5600
 WWW.KIMLEY-HORN.COM TX F-928
 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.



KHA PROJECT	064625203
DATE	MAY 2025
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	KHA
CHECKED BY	KHA

NORTHLAKE CROSSING
WEST LOT 2
 CITY OF NORTHLAKE, TEXAS

SITE PLAN
 SHEET NUMBER
C-04

GENERAL NOTES

- A. ALL MATERIALS AND PRODUCTS TO BE BY LISTED MANUFACTURER OR EQUAL.
- B. ALL GUTTERS/DOWNSPOUTS, UTILITY METERS AND UTILITY CABINETS SHALL BE PAINTED TO MATCH THE COLOR(S) OF THE BUILDING TO WHICH IT IS ATTACHED.
- C. ALL EXTERIOR ELEMENTS OF A BUILDING THAT ARE METAL, SUCH AS FLUES, GUTTERS, DOWNSPOUTS, FLASHING, ETC. SHALL BE PAINTED TO A FLAT COLOR OR ONE THAT IS A COMPATIBLE COLOR WITH THE BUILDING AND NOT TO BE LEFT NOR ALLOWED TO BECOME BARE METAL.

MATERIAL PROPORTIONS

	EAST		NORTH	
	PROVIDED	REQUIRED	PROVIDED	REQUIRED
MASONRY	97% [867 SQ FT]	85% MIN	98% [1,098 SQ FT]	85% MIN
GLASS	14% [146 SQ FT]	50% MAX	29% [449 SQ FT]	50% MAX

KEYED NOTES

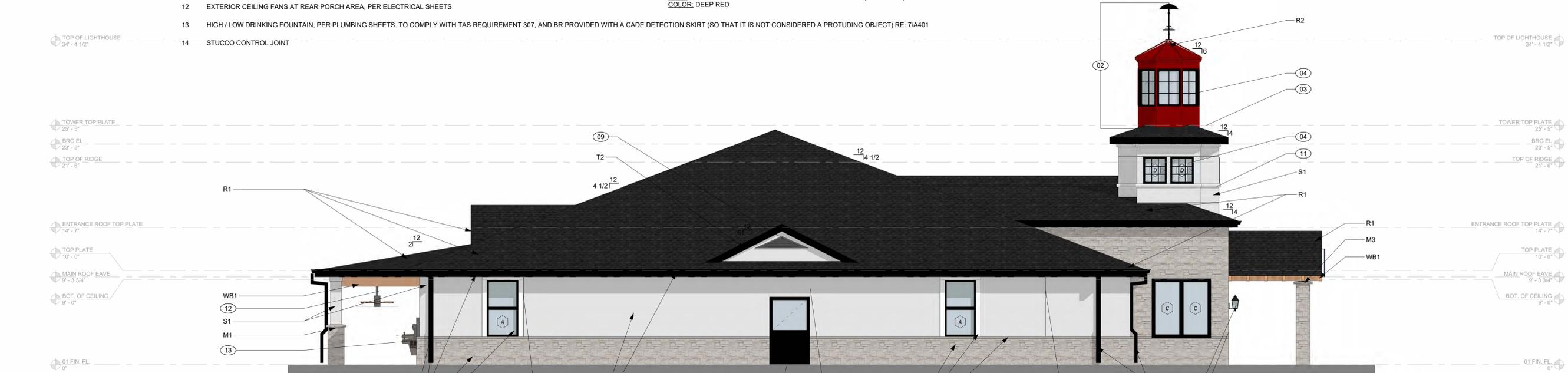
- 01 DOWNSPOUTS TO CONNECT DOWN TO STORM, RE: PLUMBING SHEETS
- 02 PRE-FABRICATED LIGHT HOUSE TOP, PER MANUFACTURER
- 03 LIGHTHOUSE AND OCTAGONAL ROOF BELOW LIGHTHOUSE
- 04 FIXED WINDOW, RE: WINDOW SCHEDULE
- 05 STUCCO REVEAL
- 06 SECURITY HARDWARE, PER SECURITY SYSTEM COMPANY AND ELECTRICAL SHEETS
- 07 KNOX BOX
- 08 OVERFRAMING TRUSSES, PER STRUCTURAL SHEETS.
- 09 LOUVERED ATTIC VENT (6" WIDE AT BASE).
- 10 DECORATIVE LIGHT FIXTURE, RE: ELECTRICAL SHEETS
- 11 2" X 4" TOWER CORNICE, TO BE STUCCO AND PAINTED TO MARCH S1
- 12 EXTERIOR CEILING FANS AT REAR PORCH AREA, PER ELECTRICAL SHEETS
- 13 HIGH / LOW DRINKING FOUNTAIN, PER PLUMBING SHEETS. TO COMPLY WITH TAS REQUIREMENT 307, AND BR PROVIDED WITH A CADE DETECTION SKIRT (SO THAT IT IS NOT CONSIDERED A PROTUDING OBJECT) RE: 7/A401
- 14 STUCCO CONTROL JOINT

EXTERIOR MATERIALS

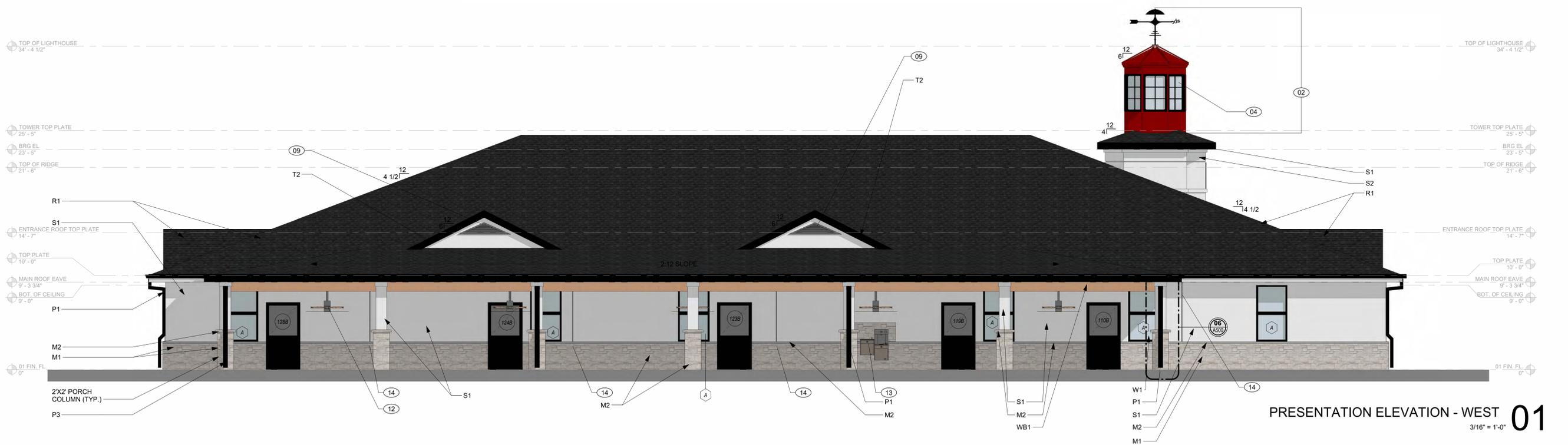
- M1 - MASONRY**
TYPE: FULL VENEER
COLOR: FOND DU LAC - DIMENSIONAL
MANUFACTURER: MASONMADE
- M2 - MASONRY (WINDOW AND DOOR TRIMS, WATER TABLE)**
TYPE: FULL VENEER
COLOR: FOND DU LAC - DIMENSIONAL
MANUFACTURER: MASONMADE
- M3 - STONE WATER TABLE**
TYPE: FULL VENEER
COLOR: FOND DU LAC - DIMENSIONAL
MANUFACTURER: MASONMADE
- M4 - MASONRY (STONE CAP)**
TYPE: FULL VENEER
COLOR: FOND DU LAC - DIMENSIONAL
MANUFACTURER: MASONMADE
- P1 - DOORS, GUTTER & DOWNSPOUTS**
COLOR: CHARCOAL GRAY
MANUFACTURER: BERRIDGE PANEL
- R1 - SHINGLE ROOF**
TYPE: TIMBERLINE HDZ
COLOR: PEWTER GREY
MANUFACTURER: GAF
- R2 - STANDING SEAM METAL ROOF**
TYPE: BERRIDGE OR EQUAL. 12" SEAM SPACING
1 1/2" RIB HEIGHT CEE LOCK PANEL
COLOR: DEEP RED
MANUFACTURER: BERRIDGE PANEL
- S1 - STUCCO**
TYPE: 3/4" PORTLAND CEMENT STUCCO
SAND SMOOTH WHITE
COLOR: SHERWIN WILLIAMS
SW 7757 HIGH REFLECTIVE WHITE
- S2 - LOUVERS**
TYPE: PVC
COLOR: TO MATCH BERRIDGE "CHARCOAL GRAY"
- T2 - OVERFRAMING TRUSSES**
COLOR: TO MATCH "R1" ROOF COLOR
- WB1 - CEDAR BEAMS AND / OR TRIM (STAINED)**
COLOR: SHERWIN WILLIAMS CLEAR STAIN SEALER
NOTE: LOW-E GLASS
- W1 - WINDOWS**
TYPE: VINYL WINDOWS
COLOR: BLACK
NOTE: LOW-E GLASS
MANUFACTURER: SHOWCASE WINDOWS AND DOORS

LEGEND

- 101a DOOR TAG
- 0 GRID LINE
- XXX KEYNOTE
- 11 WALL TAG



PRESENTATION ELEVATION - SOUTH 02
3/16" = 1'-0"



PRESENTATION ELEVATION - WEST 01
3/16" = 1'-0"

GENERAL NOTES

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EXTERIOR MATERIALS

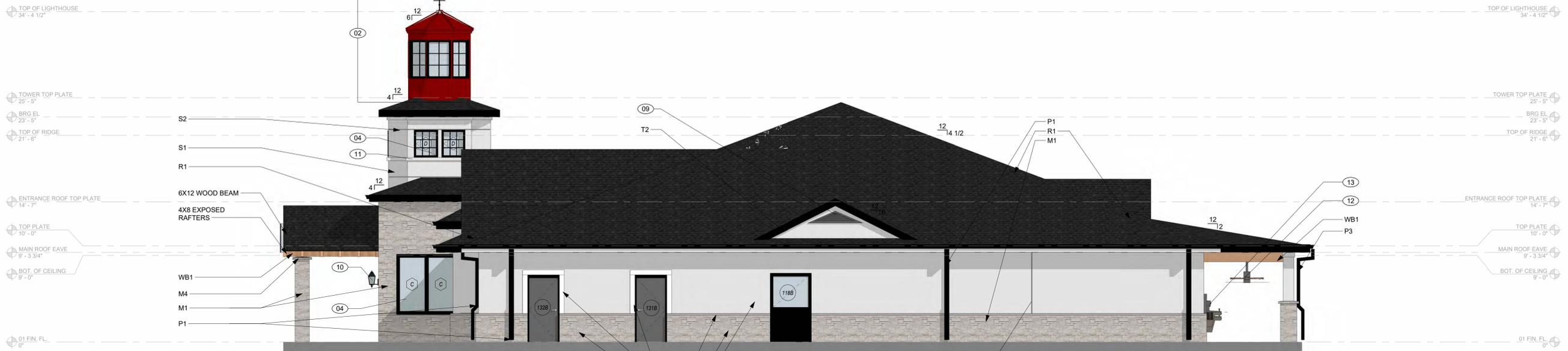
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TYPE: FULL VENEER
COLOR: FOND DU LAC - DIMENSIONAL
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- T2 - OVERFRAMING TRUSSES**
COLOR: TO MATCH "R1" ROOF COLOR
- WB1 - CEDAR BEAMS AND / OR TRIM (STAINED)**
COLOR: SHERWIN WILLIAMS CLEAR STAIN SEALER
- W1 - WINDOWS**
TYPE: VINYL WINDOWS
COLOR: BLACK
NOTE: LOW-E GLASS
MANUFACTURER: SHOWCASE WINDOWS AND DOORS

LEGEND

- 10/a DOOR TAG
- 0 GRID LINE
- XXX KEYNOTE
- 11 WALL TAG

MATERIAL PROPORTIONS

	WEST		SOUTH	
	PROVIDED	REQUIRED	PROVIDED	REQUIRED
MASONRY	97% [827 SQ FT]	85% MIN	98% [1,071 SQ FT]	85% MIN
GLASS	15% [150 SQ FT]	50% MAX	18% [242 SQ FT]	50% MAX



PRESENTATION ELEVATION - NORTH 02
3/16" = 1'-0"



PRESENTATION ELEVATION - EAST 01
3/16" = 1'-0"



DATE: June 17, 2025
REF. DOC.: Unified Development Code (UDC)
SUBJECT: Consider a recommendation on a Specific Use Permit (SUP) to allow an addition to an accessory structure which would cause it to exceed 50% of the area of the home (primary structure) on Lot 15, Block 7, North Ridge Estates, a 1.07-acre lot located at 7610 Willow Ridge Drive - Case # 25-SUP00001
i. Public Hearing
ii. Consider Recommendation
GOALS/ OBJECTIVES: Plan Intentionally and Responsibly; 3.1 - Identify and plan for changes in codes and zoning that enhance desired development

BACKGROUND INFORMATION:

Site: 1.07-acre lot located at 7610 Willow Ridge Drive
Owner/Applicant: Derral L & Jamie G Riggle
Zoning: RE - Rural Estate
Proposed Use: Residential accessory structure to exceed 50% of area of home (primary structure)
Background:

- Subsection E. of Sec. 8.2, Accessory Uses and Structures, limits number and size of residential accessory structures
 - Lot size less than 5 acres requirements:
 - Maximum 2 structures with combined area not to exceed 50% of area of primary structure
 - Area interpreted to include all floor area covered by roof (including garages, porches, etc.)
 - Additional structures or size requires approval of Specific Use Permit (SUP)
 - Gross area of home on subject property is 3,050 square feet
 - One accessory structure with total area of 1,440 square feet (47% of primary structure) on property
 - 1,200 square-foot enclosed area
 - 240 square-foot covered porch
 - Applicant wants to add roof extension to provide a carport for RV storage
 - Proposed 480 square-foot addition brings total covered area of structure to 1,920 square feet
 - 1,920 square feet is 63% of primary structure area, requiring SUP approval
 - Letter of request and supporting exhibits provided by applicant are attached

Staff Analysis:

- Applicant provided SUP application in accordance with UDC for consideration
- Following criteria for approval of SUP outlined in UDC.:

1. The proposed use at the specified location is consistent with the policies embodied in the adopted Comprehensive Plan;
2. The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations;
3. The proposed use is compatible with and preserves the character and integrity of adjacent developments and neighborhoods, and includes improvements either on-site or within the public rights-of-way to mitigate development related adverse impacts, such as traffic, noise, odors, visual nuisances, drainage or other similar adverse effects to adjacent development and neighborhoods;
4. The proposed use does not generate pedestrian and vehicular traffic which will be hazardous or conflict with the existing and anticipated traffic in the neighborhood;
5. The proposed use incorporates roadway adjustments, traffic control devices or mechanisms, and access restrictions to control traffic flow or divert traffic as may be needed to reduce or eliminate development generated traffic on neighborhood streets;
6. The proposed use incorporates features to minimize adverse effects, including visual impacts, of the proposed use on adjacent properties;
7. The proposed use meets the standards for the zoning district, or to the extent variations from such standards have been requested, that such variations are necessary to render the use compatible with adjoining development and the neighborhood;
8. The proposed use and associated site plan promote the health, safety or general welfare of the Town and the safe, orderly, efficient and healthful development of the Town; or
9. Other criteria which, at the discretion of the P&Z and Town Council are deemed relevant and important in the consideration of the SUP.

Public Hearing:

- Public hearing required prior to acting on SUP request
- Notice of public hearing by:
 - Mail to Northlake property owners within 200 feet
 - Sign posted on property
 - Published in the Denton Record Chronicle and on Town's website
- As of June 13th one written comment in favor of request has been received

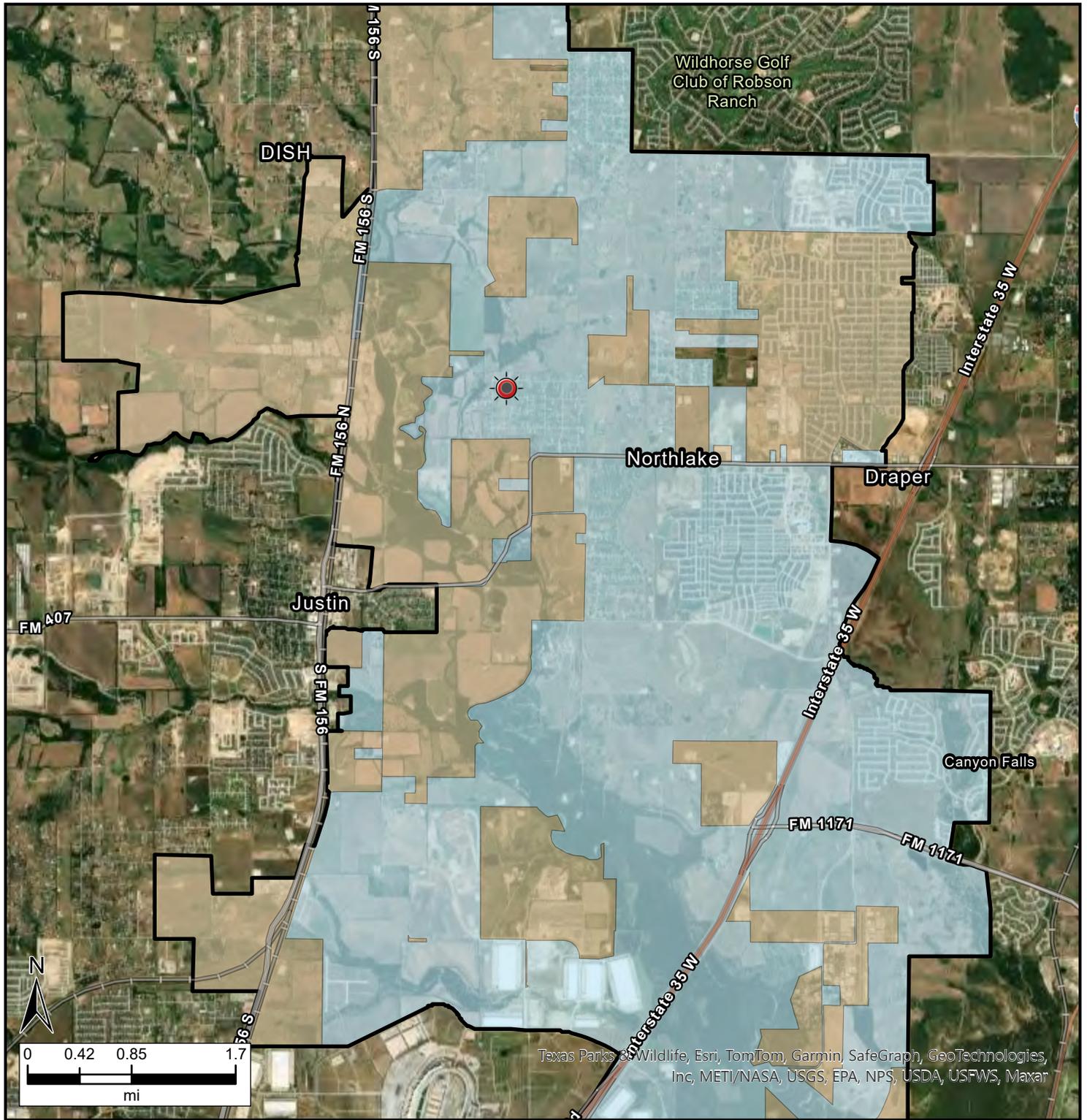
Next Steps:

- July 10th Town Council meeting
 - Hold public hearing
 - Consider approval of SUP

P&Z ACTION:

- Hold public hearing
- Recommend approval, approval with conditions, or disapproval of specific use permit (SUP) request

7610 Willow Ridge Drive - Location Map



Legend

 Northlake Boundary

Town of Northlake Incorporated Area and ETJ

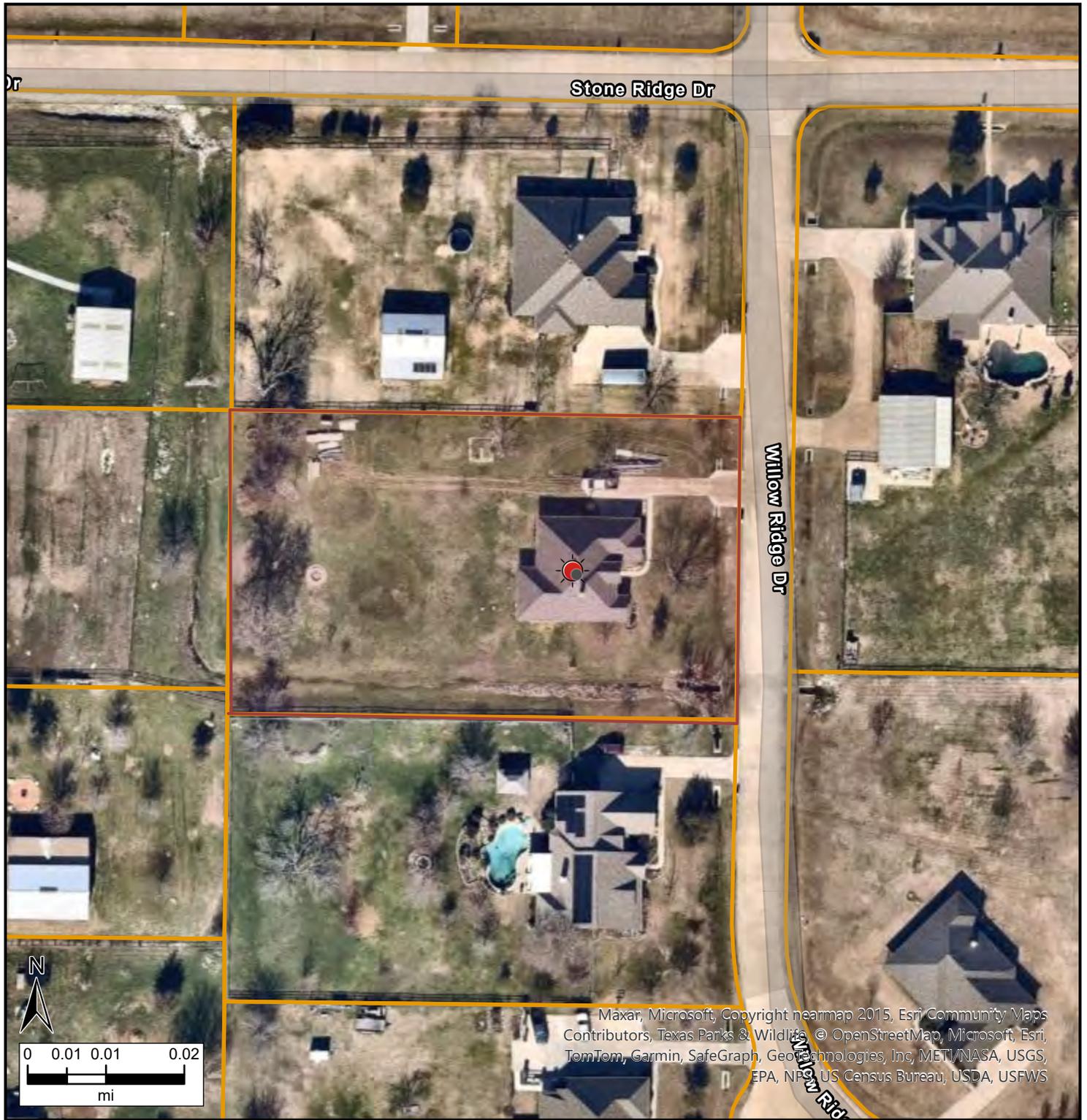
 Incorporated Area

 Extraterritorial Jurisdiction

 Limited Purposes Annexation



7610 Willow Ridge Drive - Aerial Map



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May 6, 2025

To: City of Northlake TX

RE: Special Use Permit for 7610 Willow Ridge Dr

When I originally submitted for permits for my building, I was told I couldn't add the side awning for my camper because it was too big compared to my house. I am applying for a special use permit to add the awning to the side of the building, to cover the roof of my camper. The building is complete and signed off by your inspector so I would like to get rolling on this project.

Sincerely,



Derral Riggle

Homeowner

LOT 18 BLOCK 7
NORTH RIDGE ESTATES,
CABINET W, SLIDES 443 AND 444

LOT 18 BLOCK 7
NORTH RIDGE ESTATES,
CABINET W, SLIDES 443 AND 444

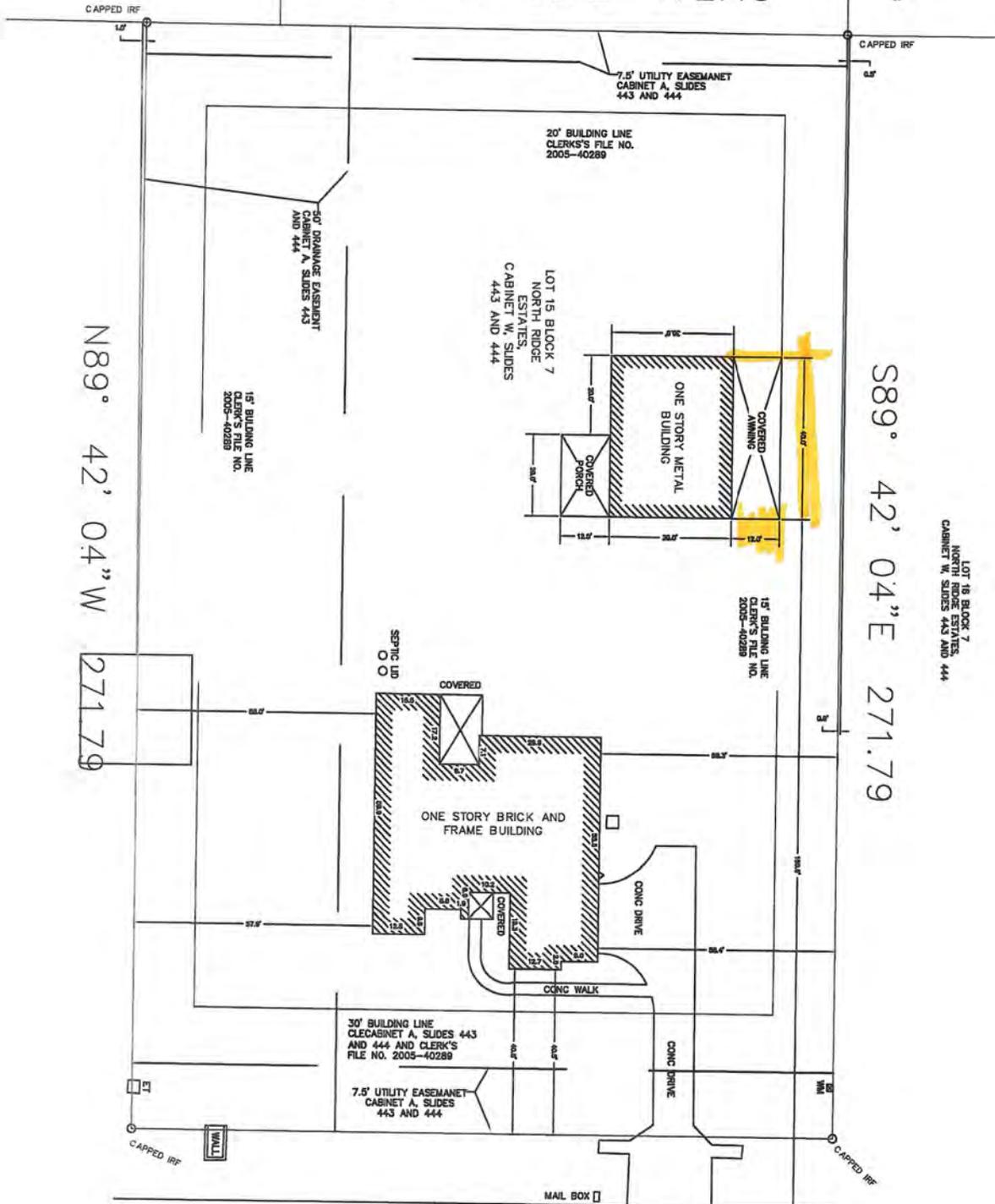
LOT 17 BLOCK 7
NORTH RIDGE
ESTATES,
CABINET W, SLIDES
443 AND 444

$N0^{\circ} 17' 56'' E \quad 172.40$

$N89^{\circ} 42' 04'' W$

$S89^{\circ} 42' 04'' E \quad 271.79$

LOT 18 BLOCK 7
NORTH RIDGE ESTATES,
CABINET W, SLIDES 443 AND 444



$S0^{\circ} 17' 56'' W \quad 172.40$

Revisions

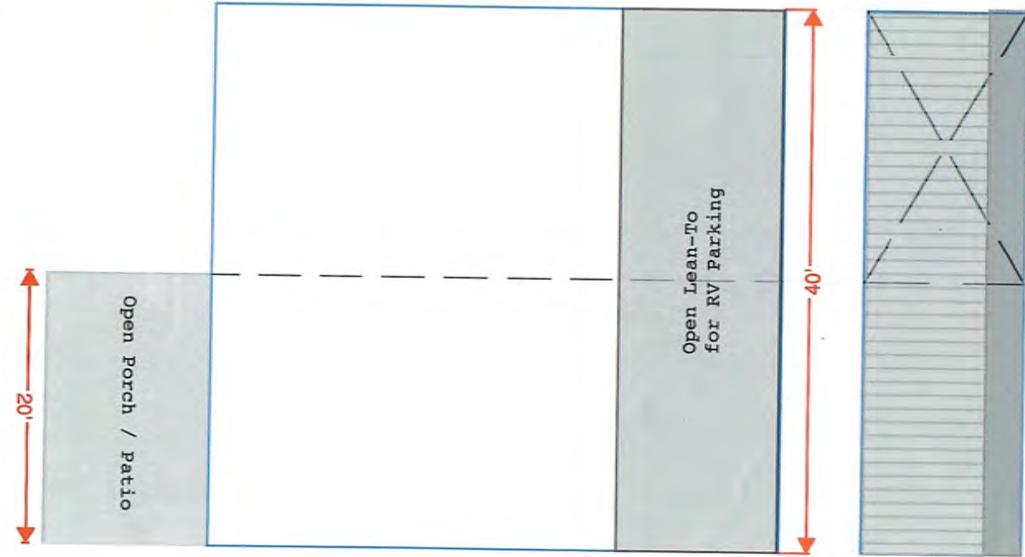
Author: XX
Checker: XX

Unnamed

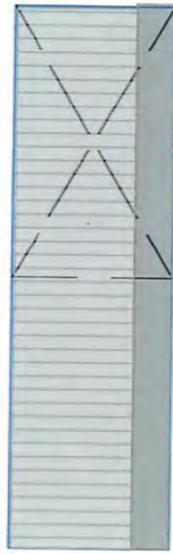
Project Number: XXXX
Date Issued: XX/XX/XX

RO-XX

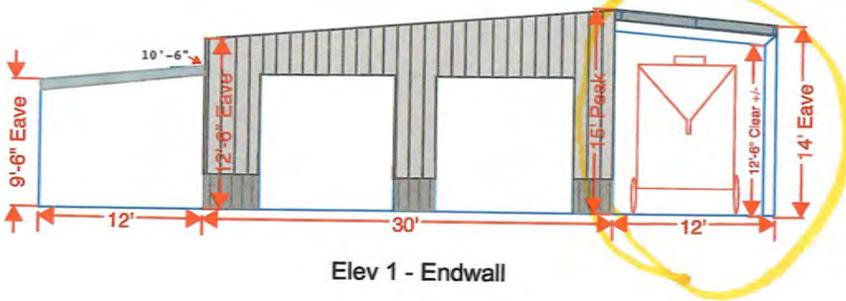
Elev 4 - Sidewall



Elev 2 - Sidewall



Elev 3 - Endwall



Elev 1 - Endwall





NOTIFICATION RESPONSE FORM

Form revised 9/14/2011

CASE INFORMATION

Public Hearing Date: June 17, 2025, 5:30 pm
 Case Type: Planning and Zoning (SUP) Specific Use Permit
 Case Name: 7610 Willow Ridge Drive Accessory Structure Addition
 Case #: 25-SUP00001

WRITTEN RESPONSE

Please check one: In favor of request Neutral/Undecided on request Opposed to request

Comments (optional):

*All their improvements on the property look good.
 Yes, I approve their request for the additional
 structure.
 It will be very nice.*

Signature: Loretta Marie Schein Date: June 7, 2025
 Printed Name: Loretta Marie Schein
 Address: 7721 Valley Ridge Dr. City/State/ZIP: Northlake, Tx 76247
 Phone number: 214-263-7435

RETURN COMPLETED FORM VIA MAIL, EMAIL, OR HAND DELIVERY BEFORE THE START OF THE SCHEDULED PUBLIC HEARING.

RETURN RESPONSES AND/OR DIRECT QUESTIONS TO:

Town of Northlake
 Planning & Permitting Coordinator
 Email: lhutchings@town.northlake.tx.us
 Phone: 940-350-9341
 Address:
 1700 Commons Circle Ste. 200
 Northlake, Texas 76226

FOR OFFICE USE ONLY

Stamp Received

Property within notification area: Yes No
 Property ID: _____
 Property Size: _____